

ENGINEER'S NOTES

- CONTRACTOR SHALL BE IN RECEIPT OF OFFICIAL CITY APPROVED PLANS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE DEVELOPMENT SERVICES DEPARTMENT AND ALL UTILITY COMPANIES INVOLVED IN THE DEVELOPMENT AT LEAST 48 HOURS PRIOR TO BEGINNING OF THE ENGINEERING DESIGN.
- CONTRACTOR SHALL NOTIFY "UNDERGROUND SERVICE ALERT" AND HAVE CONSTRUCTION AREA MARKED AT LEAST TWO WORKING DAYS PRIOR TO ANY DIGGING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND/OR SURVEY MONUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY OUTSIDE OF ANY PROHIBITED AREA. THESE AREAS SHALL BE CLEARLY DELINEATED AND MARKED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES, LANDSCAPE, AND IMPROVEMENTS IN PLACE UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ALL UTILITIES, LANDSCAPE, AND IMPROVEMENTS TO THEIR ORIGINAL CONDITION AND WORKING ORDER AFFECTED BY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CONDITIONS OR DISCREPANCY WITH THE PROPOSED IMPROVEMENTS PRIOR TO COMMENCING WORK IN THAT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY AND PAVEMENT ELEVATIONS AND CONNECTION LOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WOULD AFFECT THE PROPOSED IMPROVEMENTS PRIOR TO COMMENCING WORK.
- THRUST JOINTS SHALL NOT BE USED TO JOINT MAIN SECTIONS OF WATER OR RECYCLED WATER LINES EXCEPT IN THE CASE OF HYDRANT RUNS AND DEAD ENDS WHERE THEY SHOULD BE INSTALLED IN ADDITION TO MECHANICAL JOINT RESTRAINTS AS A REDUNDANT FEATURE.
- PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, THE CONTRACTOR SHALL IDENTIFY THE SITE WHERE THE EXCESS/BORROW EARTHEN MATERIAL SHALL BE IMPORTED/DEPOSITED. IF THE BORROW/DEPOSIT SITE IS WITHIN THE CITY OF ROSEVILLE, THE CONTRACTOR SHALL PROVIDE PERMIT ISSUED BY A GEOTECHNICAL ENGINEER TO VERIFY THAT THE EXPORTED MATERIALS ARE SUITABLE FOR THE INTENDED FILL, AND SHALL SHOW PROOF OF ALL APPROVED GRADING PLANS. HAUL ROUTES TO BE USED SHALL BE SPECIFICALLY IDENTIFIED.
- PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL HAVE THE EXISTING DRY UTILITIES POT HOLED FOR VERIFICATION OF LOCATION AND DEPTH. AT SUCH TIME, POT HOLE DATA SHALL BE PROVIDED TO THE ENGINEER FOR DETERMINATION OF ADEQUATE CLEARANCE AND SEPARATION.
- IN ACCORDANCE WITH THE CITY'S NOISE ORDINANCE, THE HOURS OF PROJECT CONSTRUCTION SHALL BE: MONDAYS - 7:00 A.M. TO 7:00 P.M. (MONDAY THROUGH FRIDAY) 8:00 A.M. TO 8:00 P.M. (SATURDAY, SUNDAY, AND HOLIDAYS).
- OFFSITE IMPROVEMENTS UNDER SEPARATE PERMIT EN24-0246.

DESIGN ENGINEER NOTES

- THE TERM "DESIGN ENGINEER" USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED HIS/HER RESPECTIVE PLAN SHEETS AND IS UNDER THE CHARGE OF THE ENGINEERING DESIGN ON THESE SHEETS. THE TERM "CONTRACTOR" USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS.
- THE DESIGN ENGINEER SHALL NOT PROVIDE, OBSERVE, COMMENT ON NOR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, IMPLEMENT, AND MAINTAIN ALL SAFETY MEASURES AND SHALL BE SOLELY RESPONSIBLE FOR ALL REQUIRED SAFETY MEASURES, PROCEDURES AND PROGRAMS COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/H HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE, SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY FOR LIABILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
- THE CONTRACTOR SHALL DEFEND AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER TO DIRECT OR STOP THE WORK OF ANY CONTRACTOR.
- ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS TEVER, REAL OR ALLEGED, IN CONNECTION WITH THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFI IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED OR IMPACTING WORK. ANY ELECTRONIC REQUEST FOR INFORMATION FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS DESIGNATED AS "ISSUED FOR CONSTRUCTION," OR EQUIVALENT DESIGNATION, MAY BE RELIED UPON.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUFFICIENCY OF INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.
- ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
- THE EXISTENCE, LOCATION, TYPE, CONDITION AND SIZE OF UNDERGROUND UTILITIES, FACILITIES OR STRUCTURES ("FACILITIES") SHOWN ON THESE PLANS WAS OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS, OR AS PROVIDED BY OTHERS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. THE CONTRACTOR SHALL CONFIRM SAID INFORMATION BY FIELD MEASUREMENTS, OBSERVATIONS AND WHATEVER MEANS NECESSARY, PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL IMMEDIATELY INFORM THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND. THE CONTRACTOR SHALL PROTECT THE FACILITIES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS, AS NEEDED. ALL DAMAGES THEREO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO CONFORM WITH ALL APPLICABLE GOVERNING CODES AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES AS NEEDED, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERING FROM WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL SUCH FACILITIES WHETHER NOTED ON THESE PLANS OR NOT. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF OPERATIONS IN THE VICINITY OF EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER AND/OR AUTHORITY HAVING JURISDICTION AS NEEDED.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK ADJACENT TO, ABOVE OR BELOW THEIR FACILITIES AND SHALL COORDINATE ALL WORK WITH UTILITY COMPANY REPRESENTATIVES. MARKING OF EXISTING UTILITIES AND PROPOSED GRADING ELEMENTS BEFORE THE START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE APPROXIMATE PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLANS. AS FINISHED GROUND, FINISHED SURFACE, AND FINISHED FLOOR ELEVATIONS. NO REPRESENTATIONS OF SUCH QUANTITIES OR A BALANCED SITE CONDITION ARE MADE BY THE ENGINEER OF RECORD. ANY QUANTITIES OR QUANTITIES SHOWN ON THESE PLANS ARE FOR PERMITTING PURPOSES ONLY. UNLESS

DESIGN ENGINEER NOTES (CONT.)

- EXPLICITLY STATED OTHERWISE HEREIN, THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION AND RE-COMPACTATION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE EFFECTS OF FROST OR OTHERS. STORMWATER QUALITY MEDIA SECTIONS, UTILITY PIPES, TRENCHING AND BEDDING MATERIALS, BUILDING OR SAND FOOTINGS, BUILDING SLABS THICKNESSES AND UNDERLYING BASE OR SAND LAYERS, RESIDE OF PULVERIZED MATERIALS THAT WILL UNDERLIE PAVEMENTS, ETC. THE CONTRACTOR IS NOT AUTHORIZED TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD.
- PROPOSED BUILDING PAD ELEVATIONS, IF SHOWN, ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. CONTRACTOR SHALL CONFIRM SLAB STRUCTURAL SECTION THICKNESSES AND PAD PREPARATION REQUIREMENTS PRIOR TO GRADING FINISHED PADS.
- THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE PROPOSED BUILDING FOOTPRINT(S) AND OTHER STRUCTURE FOOTPRINTS SHOWN IN THESE PLANS WERE PROVIDED TO THE DESIGN ENGINEER BY THE PROJECT ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OF THESE FOOTPRINTS AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING WITH THE RELEVANT DESIGN TEAM PROFESSIONALS, AND USING THE FINAL CORRECT VERSION OF THE FOOTPRINTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING THE STRUCTURE'S FINAL POSITION ON THE SITE BASED UPON THE FINAL SURVEY DATA AND THE PROJECT ARCHITECT'S STANDARD DRAWINGS AND ALL RELEVANT DOCUMENTS. ANY DIFFERENCES FOUND SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER AND OWNER/PROJECT ARCHITECT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT THE PROJECT FROM EROSION AND SILTATION. THE CONTRACTOR SHALL PROTECT CONTRACTOR OPERATIONS, BY APPROPRIATE MEANS, OR BY SPECIFYING MEANS DESCRIBED IN THE PROJECT'S PLANS, SPECIFICATIONS OR STORM WATER POLLUTION PREVENTION REPORT, UNTIL SUCH TIME THAT THE EROSION CONTROL MEASURES ARE APPROVED BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND THE AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY TO DIRECT THE CONTRACTOR REGARDING THE MEANS AND METHODS OF STORMWATER POLLUTION PREVENTION, SEQUENCE, OR SCHEDULE.
- ALL SHOP DRAWINGS, REIS AND ANY OTHER DOCUMENTS THAT REQUIRE REVIEW SHALL BE SUBMITTED TO THE DESIGN ENGINEER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, TO ALLOW ADEQUATE REVIEW, COORDINATION AND RESPONSE. SAID DOCUMENTS ARE NOT A DIRECTION FROM THE DESIGN ENGINEER TO MODIFY THE CONTRACTOR'S SCHEDULE OR PRICE, AND THE CONTRACTOR WARRANTS NOT TO USE THEM AS SUCH.
- THE CONTRACTOR SHALL ENSURE APPROPRIATE LICENSED PROFESSIONALS HAVE BEEN RETAINED BY THE CONTRACTOR TO PROVIDE ANY/ALL REQUIRED PROJECT CERTIFICATIONS AS MAY BE REQUIRED BY ANY AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER WILL NOT PROVIDE ANY PROJECT CERTIFICATIONS UNLESS SPECIFICALLY RETAINED BY THE OWNER TO PROVIDE LICENSED PROFESSIONAL SERVICES.
- CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO DOCUMENT ALL CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS DURING CONSTRUCTION. THE LICENSED SURVEYOR SHALL PREPARE A SIGNED AND SEALED "AS-BUILT" DRAWING UPON COMPLETION OF CONSTRUCTION. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE PREPARATION IN WHOLE OR IN PART OF THE "AS-BUILT" DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND MONUMENTATION WHICH IS NOT DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY SHALL BE OBTAINED FROM THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE MOST CURRENT VERSION OF THE LAND SURVEYORS ACT.

ENGINEER'S GRADING NOTES

- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS TO NEARBY STORM DRAIN CATCH BASIN/RETENTION BASIN FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL BLUESTAKE AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL ADOPTED PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- TOPOGRAPHY INFORMATION WAS TAKEN FROM SURVEY DATED MARCH 23, 2025, BY AZCA ENGINEERING, LLC. CONTRACTOR SHALL REVIEW AND ACCEPT TOPOGRAPHIC INFORMATION PRIOR TO BEGINNING WORK. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL HAVE MADE, AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO INITIATING WORK. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL SALVAGE, STRIP, REMOVE, OR PROTECT IN PLACE (AS APPLICABLE) ALL EXISTING TREES, FILLS, STRUCTURES, UNDERGROUND UTILITIES OR OBSTRUCTIONS, VEGETATION, ORGANIC TOPSOIL, DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS FROM THE PROPOSED BUILDING AND PAVEMENT AREAS. ALL EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS THAT COULD PREVENT UNIFORM COMPACTION.
- ALL PROPOSED ELEVATIONS ARE TO FINISHED SURFACE.
- PROPOSED ELEVATIONS AND CONTOURS REPRESENT PAVEMENT SURFACE ELEVATION, UNLESS OTHERWISE STATED.
- ADD 0.5 FEET TO PROPOSED ELEVATIONS FOR TOP OF CURB ELEVATION, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY ELEVATION DISCREPANCIES DISCOVERED DURING CONSTRUCTION. ANY DEMOLITION AND REWORK ASSOCIATED WITH ELEVATION DISCREPANCIES NOT REPORTED TO THE ENGINEER, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.

GRADING

- GRADING SHALL CONFORM TO APPENDIX CHAPTER 33 IBC, LATEST EDITION, AND TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT WHEN ONE IS AVAILABLE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. IF AN EROSION AND SEDIMENT CONTROL MEASURES IS NOT SPECIFIED IN A DYNAMIC DOCUMENT AND WILL CHANGE AS CONDITIONS WARRANT, PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AS SHOWN ON THE SWPPP PLAN.
- LOTS SHALL BE GRADED WITH A CONSTANT SLOPE ALONG THE FRONTAGE OF THE RIGHT-OF-WAY, FROM BUILDING SETBACK LINE TO BACK OF SIDEWALK. ALL TEMPORARY AND PERMANENT SLOPES STEEPER THAN 4:1 ALONG THIS FRONTAGE SHALL HAVE EROSION NETTING INSTALLED TO PREVENT EROSION.
- ALL REAR LOT CORNER ELEVATIONS SHALL BE EQUAL TO OR GREATER THAN THE HIGHEST ADJACENT PAD GRADE UNLESS SPECIFICALLY SHOWN ON THESE PLANS AND APPROVED BY ENGINEERING DIVISION.
- NON-POTABLE WATER SHALL BE SPRAYED ON ALL EXPOSED EARTH SURFACES DURING CLEARING, GRADING, EARTH MOVING, AND OTHER SITE PREPARATION ACTIVITIES. THE EXPOSED EARTH SHALL BE WATERED THROUGHOUT THE DAY TO MINIMIZE DUST.
- TARPAULINS OR OTHER EFFECTIVE COVERS SHALL BE USED ON ALL STOCKPILED EARTH MATERIAL AND ON HAUL TRUCKS TO MINIMIZE DUST.
- THE CITY SHALL HAVE THE AUTHORITY TO STOP ALL GRADING OPERATIONS, IF, IN OPINION OF THE CITY ENGINEER, EXISTING DUST CONTROL MEASURES ARE BEING PRACTICED OR EXCESSIVE WIND CONDITIONS CONTRIBUTE TO FUGITIVE DUST EMISSIONS.
- ADJACENT STREET FRONTAGES SHALL BE SWEEP AT LEAST ONE A DAY TO REMOVE FUGITIVE DUST. SWEEPING IS EVIDENT FROM CONSTRUCTION ACTIVITIES. REFER TO SCHEDULES WITHIN SWPPP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DIRT, SILT AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. REFER TO SWPPP FOR SPECIFIC REQUIREMENTS.
- CONSTRUCTION SHALL STOP IF CULTURAL RESOURCES ARE SUSPECTED. IT IS POSSIBLE THAT PREVIOUS ACTIVITIES HAVE OBSERVED SURFACE EVIDENCE OF CULTURAL RESOURCES. IF SIGNS OF AN ARCHEOLOGICAL SITE, SUCH AS ANY UNUSUAL AMOUNTS OF STONE, BONE, OR SHELL, ARE UNCOVERED DURING GRADING

CITY OF ROSEVILLE: PUBLIC IMPROVEMENTS REQUIREMENTS

GENERAL

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION AND AMENDMENTS OF THE CITY OF ROSEVILLE DESIGN AND CONSTRUCTION STANDARDS.
- THE CITY OF ROSEVILLE IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL SYSTEM. THE CONTRACTORS SHALL NOTIFY THE U.S.A. CENTER 800-227-2600 IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING A MEMBER OF THE CENTER TO CONDUCT A UTILITY LOCATE TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL MARK IN WHITE PAINT ALL AREAS TO BE EXCAVATED PRIOR TO CONTACTING U.S.A. ANY AREAS NOT MARKED WILL NOT BE SUBJECT TO U.S.A. AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM EXCAVATION.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OF THE NEW IMPROVEMENTS CONNECTING TO OR IN THE VICINITY OF THE SAME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS ON THE JOB SITE.
- THE CONTRACTOR SHALL PLACE BOKED SURVEY MONUMENTS WITH 1-1/2" BRONZE HEAD SET IN CONCRETE (STD. DWG. ST-36) AT LOCATIONS SHOWN ON THESE PLANS.
- A.C. SURFACE SHALL BE CUT TO A NEAT, STRAIGHT LINE PARALLEL WITH THE CENTERLINE OF THE EXPOSED BASE MATERIAL SHALL BE GRADED, RE-COMPACTED, AND RESEALED PRIOR TO PAVING.
- ANY EXISTING CONCRETE SURFACE TO BE REMOVED SHALL BE SAW CUT TO A NEAT, STRAIGHT LINE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN THAT SHALL BE ACCEPTED BY THE DIVISION OF PUBLIC WORKS BEFORE START OF WORK IN RIGHT-OF-WAY AND SHALL BE IN ACCORDANCE WITH CALIFORNIA MUTCD LATEST EDITION. AT LEAST ONE LANE IN EACH DIRECTION SHALL REMAIN OPEN TO TRAFFIC UNLESS OTHERWISE SHOWN ON THE PLANS. TRAFFIC CONTROL HOURS ARE SUBJECT TO LIMITATION BY THE CITY. TRAFFIC CONTROL WITH LANE CLOSURES THAT AFFECT TRAFFIC FLOW MAY REQUIRE NIGHT WORK. IF, AS A PART OF TRAFFIC CONTROL MEASURES, A ROADWAY CLOSURE HAS BEEN APPROVED, THE CONTRACTOR SHALL NOTIFY DEVELOPMENT SERVICES CONSTRUCTION INSPECTOR 72 HOURS IN ADVANCE OF SETTING UP THIS CLOSURE.
- CURB RAMPS CONFORMING TO ALL ADA AND TITLE 24 REQUIREMENTS SHALL BE PLACED AT ALL NEW STANDARD CURB RETURNS (STANDARD DRAWING 21-27) AND STANDARD TYPE A-7 DRIVEWAYS. WHERE EXISTING RAMPS DO NOT MEET CURRENT ADA AND TITLE 24 REQUIREMENTS, THE RAMPS SHALL BE UPGRADED IN CONFORMANCE WITH CURRENT ADA AND TITLE 24 REQUIREMENTS. EXISTING RAMPS DO NOT INCLUDE DETRACTABLE WARNING PANELS (TRUNCATED DOME). PANELS SHALL BE RETROFITTED PER THE CONSTRUCTION STANDARDS.
- DRAIN INLETS NOT WITHIN A PAVED AREA SHALL HAVE A 12" WIDE COLLAR OF 6" CONCRETE OR 2" THICK A.C. SURFACE.
- PRIOR TO THE CERTIFICATE OF COMPLETION ON ALL SINGLE-FAMILY RESIDENTIAL SUBDIVISIONS, THE DEVELOPER SHALL SUBMIT A LETTER FROM THE POST OFFICE STATING THAT ITS REQUIREMENTS FOR MAILBOX CLUSTER PADS HAVE BEEN SATISFIED.
- ALL UNDERGROUND UTILITIES WITH EXISTING OR PROPOSED CITY OF ROSEVILLE EASEMENTS SHALL REQUIRE A MINIMUM OF 30% COMPACTION ON THE TRENCH BACKFILL. COMPACTION OF BACKFILL BY JETTING IS NOT PERMITTED IN CITY OF ROSEVILLE RIGHT-OF-WAY AND EASEMENT AREAS WITHIN DEDICATED RECLAIMED WATER, STORM, SEWER, OR WATER EASEMENTS AND MARKS.
- THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ONE-WEEK PRIOR TO STARTING WORK. MEMBERS OF THE CITY OF ROSEVILLE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL UTILITIES DEPARTMENT AND ALL OTHER UTILITY COMPANIES SHALL BE INVITED TO ATTEND BY THE CONTRACTOR AS TO THE DATE AND LOCATION OF THE MEETING.
- PRIOR TO EXCAVATION OF TRENCHES 5 FEET OR DEEPER, THE CONTRACTOR SHALL SUBMIT TO THE DEVELOPMENT SERVICES DEPARTMENT OR ENVIRONMENTAL UTILITIES DEPARTMENT A NEPAP COPY OF THE COMPANY'S ANNUAL CALIFORNIA TRENCHING PERMIT AND A COPY OF THE COMPANY'S LETTER INFORMING CALOCHA OF THE TIME THE TRENCHING IS COMMENCING AND THE LOCATION OF THE WORK.
- ALL PAINTED TRAFFIC STRIPES, ARROWS, AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATION SET FORTH IN CHAPTER 3 OF THE CALIFORNIA MUTCD LATEST EDITION. NON-REFLECTIVE PAVEMENT MARKERS SHALL CONSIST OF CERAMIC MARKERS ONLY CONFORMING TO THE REQUIREMENTS AS SPECIFIED IN THE SPECIFICATIONS.
- THE DEVELOPERS CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT EXISTING SITE AND ADJACENT IMPROVEMENTS FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR MAKE REPLACEMENT OF ALL CRACKED AND OTHERWISE DAMAGED EXISTING IMPROVEMENTS. ANY DAMAGE RESULTING FROM CONSTRUCTION TO THE PROJECT SITE AND ANY DAMAGE RESULTING FROM CONSTRUCTION TO CURRENT CITY STANDARDS AND AT THEIR OWN EXPENSE. THE EXTENT OF THE REPAIRS SHALL BE DETERMINED BY THE CITY ENGINEER OF RECORD. ALL REPAIRS SHALL BE COMPLETED PRIOR TO THE CITY ACCEPTANCE OF THE IMPROVEMENTS.
- WHERE COMBINATIONS OF SIDEWALK OR CURB AND GUTTER ARE PLACED CONTIGUOUS TO EXISTING, ALL ADDING EXISTING CONCRETE VERTICAL FACES SHALL BE DOWELED. ALL EXISTING SIDEWALK ENDS SHALL BE DOWELED. MID-SECTION VERTICALS WITH TWO DOWELS FOR FOUR THROUGH 18" FOOT WIDE SIDEWALK AND THREE DOWELS FOR WIDER SIDEWALK. ABUTTING CURB AND GUTTER ENDS SHALL BE DOWELED THREE 18" INCHES APART AT THE GUTTER. CURB AND GUTTER SHALL BE THREE FEET ON CENTER. ALL DOWELS SHALL BE 16 INCHES LONG, 3/4" DIA. #4 REBAR REINFORCED 12" INCHES. THE DOWEL HOLE SHALL BE 5/8-INCH DIAMETER AT A SLIGHT HORIZONTAL ANGLE FROM PERPENDICULAR. THE PENETRATING PORTION OF THE DOWEL AND THE ENTIRE (CLEANED) VERTICAL SURFACE OF THE DOWEL SHALL BE CONCRETE SHALL BE THOROUGHLY COATED WITH SAUCING STANDARD TWO-PART EPOXY.
- WHEN SAWCUTTING WITHIN THE STREET FOR TRENCHING OR OTHER PURPOSES, CONTRACTOR SHALL GRIND 1/2" OF PAVEMENT BETWEEN THE LANE LINES (FROM LANE STRIPE TO LANE STRIPE) UPON COMPLETION OF THE SAWCUTTING AND OR TRENCHING WORK. WHEN SAWCUTTING BETWEEN THE CURB AND GUTTER AND NEAREST LANE STRIPE (INCLUDING BIKE LANES), THE SAME 1/2" GRIND SHALL BE REQUIRED. CONTRACTOR TO PLACE A PETROLEUM ASPHALT OR APPROVED EQUAL BY THE CITY OF ROSEVILLE AND OVERLAY FROM LANE STRIPE TO LANE STRIPE, OR CURB TO LANE STRIPE AND RESTRIPE OR REPLACE ANY DELINEATORS REMOVED DURING THE GRIND.
- ALL PUBLICLY MAINTAINED STORMWATER STORAGE OR PRIVATE PROPERTY SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER AND SHALL BE REP. CL. IV, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- FOR RESIDENTIAL SUBDIVISIONS, UNLESS OTHERWISE APPROVED BY DEVELOPMENT SERVICES ENGINEERING, THE FINAL GRADING OF THE PROJECT SITE SHALL BE CONSTRUCTED TO ACCOMMODATE A MAXIMUM DRIVEWAY SLOPE OF 14% FOR EACH RESIDENTIAL LOT, AS MEASURED FROM THE BACK OF THE SIDEWALK TO THE SIDEWALK (20-FT SET BACK). IT WILL REMAIN THE RESPONSIBILITY OF THE BUILDERS/DEVELOPER TO DESIGN A HOUSE THAT PROVIDES SUITABLE ACCESS TO THE PARCEL.
- THE CONTRACTOR SHALL PLACE FILTER FABRIC BETWEEN THE INITIAL BEDDING AND BACKFILL, AND THE TRENCH BACKFILL FOR SANITARY SEWERS DEEPER THAN 15 FEET MEASURED TO THE PIPE INVERT.

GRADING

- GRADING SHALL CONFORM TO APPENDIX CHAPTER 33 IBC, LATEST EDITION, AND TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT WHEN ONE IS AVAILABLE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. IF AN EROSION AND SEDIMENT CONTROL MEASURES IS NOT SPECIFIED IN A DYNAMIC DOCUMENT AND WILL CHANGE AS CONDITIONS WARRANT, PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AS SHOWN ON THE SWPPP PLAN.
- LOTS SHALL BE GRADED WITH A CONSTANT SLOPE ALONG THE FRONTAGE OF THE RIGHT-OF-WAY, FROM BUILDING SETBACK LINE TO BACK OF SIDEWALK. ALL TEMPORARY AND PERMANENT SLOPES STEEPER THAN 4:1 ALONG THIS FRONTAGE SHALL HAVE EROSION NETTING INSTALLED TO PREVENT EROSION.
- ALL REAR LOT CORNER ELEVATIONS SHALL BE EQUAL TO OR GREATER THAN THE HIGHEST ADJACENT PAD GRADE UNLESS SPECIFICALLY SHOWN ON THESE PLANS AND APPROVED BY ENGINEERING DIVISION.
- NON-POTABLE WATER SHALL BE SPRAYED ON ALL EXPOSED EARTH SURFACES DURING CLEARING, GRADING, EARTH MOVING, AND OTHER SITE PREPARATION ACTIVITIES. THE EXPOSED EARTH SHALL BE WATERED THROUGHOUT THE DAY TO MINIMIZE DUST.
- TARPAULINS OR OTHER EFFECTIVE COVERS SHALL BE USED ON ALL STOCKPILED EARTH MATERIAL AND ON HAUL TRUCKS TO MINIMIZE DUST.
- THE CITY SHALL HAVE THE AUTHORITY TO STOP ALL GRADING OPERATIONS, IF, IN OPINION OF THE CITY ENGINEER, EXISTING DUST CONTROL MEASURES ARE BEING PRACTICED OR EXCESSIVE WIND CONDITIONS CONTRIBUTE TO FUGITIVE DUST EMISSIONS.
- ADJACENT STREET FRONTAGES SHALL BE SWEEP AT LEAST ONE A DAY TO REMOVE FUGITIVE DUST. SWEEPING IS EVIDENT FROM CONSTRUCTION ACTIVITIES. REFER TO SCHEDULES WITHIN SWPPP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DIRT, SILT AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. REFER TO SWPPP FOR SPECIFIC REQUIREMENTS.
- CONSTRUCTION SHALL STOP IF CULTURAL RESOURCES ARE SUSPECTED. IT IS POSSIBLE THAT PREVIOUS ACTIVITIES HAVE OBSERVED SURFACE EVIDENCE OF CULTURAL RESOURCES. IF SIGNS OF AN ARCHEOLOGICAL SITE, SUCH AS ANY UNUSUAL AMOUNTS OF STONE, BONE, OR SHELL, ARE UNCOVERED DURING GRADING

CITY OF ROSEVILLE: PUBLIC IMPROVEMENTS REQUIREMENTS (CONT.)

GENERAL

- OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN 100 FEET OF THE END AND THE ROSEVILLE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. THE ARCHEOLOGIST MAY REQUIRE ADDITIONAL MITIGATION.
- SHOULD GRADING OPERATIONS UNCOVER HAZARDOUS MATERIALS, OR WHAT APPEARS TO BE HAZARDOUS MATERIALS, THE CONTRACTOR SHALL STOP WORK AND CONTACT IMMEDIATELY AT (916) 774-5820. THE AREA, WHICH CONTAINS THE HAZARDOUS MATERIALS, SHALL BE MARKED OFF UNTIL AN INVESTIGATION BY A MEMBER OF THE DEPARTMENT IS COMPLETED.
- GRADES SHOWN OUTSIDE OF THE PUBLIC RIGHT OF WAY WITHIN THE APPROVED GRADING PLAN ARE SUBJECT TO FURTHER REVIEW AND MODIFICATION BY THE BUILDING DIVISION FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE AND STATE OF CALIFORNIA TITLE 24 HAZARDOUS ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR/DEVELOPER IS EXPECTED TO COMPLY WITH THE FUGITIVE DUST CONTROL REQUIREMENTS FROM THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT: WWW.PLACER.CA.GOV/APCD
- CONTAMINATED SOIL - DEVELOPER AGREES TO PROPERLY ADHERE TO ALL THEN CURRENT STATE AND FEDERAL REQUIREMENTS WHEN ANY EVIDENCE OF TOXIC, HAZARDOUS OR CONTAMINATED SOILS ARE ENCOUNTERED DURING ANY AND ALL EXCAVATION OR GRADING OPERATIONS, AND TO INDEFINITELY DEFEND AND HOLD HARMLESS THE CITY OF ROSEVILLE, ITS OFFICERS, AGENTS AND EMPLOYEES, FROM ANY AND ALL LIABILITY, COSTS, CLAIMS, FEES, PENALTIES AND CLAIMS OF OR DAMAGE OF ANY TYPE WHATSOEVER. EXTRA COSTS FOR REMEDIATION AND/OR REMOVAL OF SOILS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE PARTIES INTEND THAT THIS PROVISION BE BROADLY CONSTRUED.

AIR QUALITY

- CONSTRUCTION EQUIPMENT EXHAUST EMISSIONS SHALL NOT EXCEED PLACER COUNTY APCD RULE 202 VEHICLE EMISSION LIMITATIONS. OPERATORS OF VEHICLES AND EQUIPMENT FLOW TO EXCEED OPERACY LIMITS ARE TO BE IMMEDIATELY NOTIFIED BY THE CITY OF ROSEVILLE. THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS. (BASED ON APCD RULE 202)
- THE CONTRACTOR SHALL SUSPEND ALL GRADING OPERATIONS WHEN FUGITIVE DUST EXCEEDS PLACER COUNTY APCD RULE 228 (FUGITIVE DUST) LIMITATIONS. THE PRIME CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF RECORD IMMEDIATELY AND CARB-CERTIFIED TO PERFORM VEHICLE EMISSIONS EVALUATIONS (VEE). THIS INDIVIDUAL SHALL EVALUATE COMPLIANCE WITH RULE 228 ON A WEEKLY BASIS. IT IS TO BE NOTED THAT THE CITY ENGINEER OF RECORD HAS THE AUTHORITY TO GO BEYOND THE PROPERTY BOUNDARY AT ANY TIME, LME OR OTHER DRYING AGENTS UTILIZED TO DRY OUT WET GRADING AREAS SHALL NOT EXCEED PLACER COUNTY APCD RULE 228 FUGITIVE DUST LIMITATIONS. THE USE OF VEHICLES AND EQUIPMENT FLOW TO EXCEED OPERACY LIMITS WILL BE NOTIFIED BY APCD AND THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS. ALL PROJECTS IN EXCESS OF 5 ACRES SHALL HAVE A PERMIT TO EXCEED CONTROL PLAN FROM THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT. (BASED ON APCD RULE 228)
- DURING CONSTRUCTION, TRAFFIC SPEEDS ON ALL UNPAVED SURFACES SHALL BE LIMITED TO 15 MI/LES PER HOUR OR LESS. (BASED ON APCD RULE 228 / SECTION 401.2)
- DURING CONSTRUCTION, NO OPEN BURNING OF REMOVED VEGETATION SHALL BE ALLOWED UNLESS PERMITTED BY THE PCAPCD. ALL REMOVED VEGETATIVE MATERIAL SHALL BE EITHER CHIPPED ON SITE OR TAKEN TO AN APPROPRIATE RECYCLING SITE, OR IF A SITE IS NOT AVAILABLE, A LICENSED DISPOSAL SITE. (BASED ON APCD RULE 310)
- A PERSON SHALL NOT DISCHARGE INTO THE ATMOSPHERE VOLATILE ORGANIC COMPOUNDS (VOC'S) CAUSED BY THE USE OR MANUFACTURE OF CUTBACK OR EMULSIFIED ASPHALTS FOR PAVING, ROAD CONSTRUCTION OR ROAD MAINTENANCE, UNLESS SUCH MANUFACTURER'S OR USE COMPLEX WITH THE PROVISIONS RULE 211 (BASED ON APCD RULE 217).
- PROCESSES THAT DISCHARGE 2 POUNDS PER DAY OR MORE OF AIR CONTAMINANTS, AS DEFINED BY HEALTH AND SAFETY CODE SECTION 39013, TO THE ATMOSPHERE MAY REQUIRE A PERMIT. PERMITS MAY BE REQUIRED FOR BOTH CONSTRUCTION AND OPERATION. DEVELOPERS/CONTRACTORS SHOULD CONTACT THE DISTRICT TRAFFIC TO CONSTRUCTION AND OBTAIN ANY NECESSARY PERMITS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. (BASED ON THE CALIFORNIA HEALTH & SAFETY CODE SECTION 39013).

EROSION/SEDIMENT CONTROL

- THE STATE'S GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (W0D 99-080-DW0) REQUIRES THE CONSTRUCTION OF EROSION AND SEDIMENT CONTROL MEASURES (ES/SCMP) FOR SITES WITH SOIL DISTURBANCES GREATER THAN OR EQUAL TO ONE ACRE, OR FROM SITES SMALLER THAN ONE ACRE IF THE CONSTRUCTION ACTIVITY IS ANTICIPATED TO EXCEED 100 TONS OF DIRT OR OTHER MATERIAL THAT DISTURBS ONE ACRE OR MORE. CONSTRUCTION ACTIVITY SHALL NOT COMMENCE, NOR A PRE-CONSTRUCTION MEETING PERMITTED TO BE CONDUCTED, PRIOR TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES. FOR MORE INFORMATION, SEE: http://www.roseville.ca.us/eu/stormwater_management
- THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS INCORPORATED BY REFERENCE INTO THIS SET OF PLANS. THE SWPPP IS CONSIDERED A DYNAMIC DOCUMENT AND WILL CHANGE AS CONDITIONS WARRANT. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AS SHOWN ON THESE PLANS AND APPROVED BY THE CITY INSPECTOR.
- A COPY OF THE SWPPP SHALL BE KEPT AT THE PROJECT SITE AT ALL TIMES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED IN THE SWPPP AND/OR AS DIRECTED BY CITY INSPECTOR.
- NO GRADING OR TRENCHING, EXCEPT AS REQUIRED FOR EROSION OR SEDIMENT CONTROL, SHALL BE PERMITTED UNTIL THE CENTERLINE OF PERENNIAL AND INTERMITTENT DRAINAGE SWALES BETWEEN SECTION 15 AND APRIL 15 EXCEPT AS APPROVED BY THE DEPARTMENT OF FISH AND GAME.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE SWPPP.
- THE CONTRACTOR SHALL ESTABLISH A SPECIFIC SITE WITHIN THE DEVELOPMENT FOR MAINTENANCE AND STORAGE OF EQUIPMENT OR ANY OTHER ACTIVITY THAT MAY ADVERSELY CONTRIBUTE TO THE WATER QUALITY OF THE RUNOFF IN ACCORDANCE WITH THE SWPPP.

CITY OF ROSEVILLE: GENERAL FIRE DEPARTMENT NOTES

- AN APPROVED PROJECT SIGN SHALL BE PLACED AT VEHICLE ACCESS POINTS INTO THE PROJECT DURING CONSTRUCTION TO ASSIST EMERGENCY RESPONDERS. THE SIGN SHALL IDENTIFY THE PROJECT ADDRESS. APPROVED SIGN CITY OF ROSEVILLE. SUCH SIGNS SHALL BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROJECT.
- PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT TO THE SITE, FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED TO WITHIN 150 FEET OF ALL STRUCTURES AND COMBUSTIBLE STORAGE PILES. FIRE APPARATUS ACCESS ROADS SHALL BE FULLY PAVED AND SHALL BE DESIGNED TO SUPPORT THE IMPOSED WEIGHT OF A FIRE APPARATUS (34 TONS OWN), UNLESS PRIOR APPROVAL IS OBTAINED FROM THE FIRE DEPARTMENT FOR TEMPORARY ACCESS ROADS. ACCESS ROADS SHALL BE PROVIDED WITH A MINIMUM 20-FOOT ROADWAY WIDTH AND 13 FOOT 6 INCH VERTICAL CLEARANCE.
- PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT TO THE SITE, ANY REQUIRED ON-SITE FIRE HYDRANTS SHALL BE COMPLETED AND ACCEPTED BY THE ROSEVILLE FIRE DEPARTMENT.
- CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT OBSTRUCT FIRE APPARATUS ACCESS TO FIRE APPARATUS ROADS, FIRE HYDRANTS OR THE BUILDING.
- BARRICADES SHALL BE PROVIDED TO PROTECT ANY NATURAL GAS METER, FIRE HYDRANT, FIRE EXTINGUISHER, OR OTHER POSSIBLE HAZARDOUS EQUIPMENT OR DEVICES THAT MAY BE SUBJECT TO VEHICULAR DAMAGE.
- PROVIDE AND MAINTAIN A MINIMUM 3-FOOT CLEAR SPACE AROUND FIRE PROTECTION EQUIPMENT.
- THE BURNING OF COMBUSTIBLE CONSTRUCTION MATERIALS AND TRASH IS PROHIBITED.
- ASPHALT AND TAR KETTLES SHALL NOT BE LOCATED WITHIN 20 FEET OF ANY COMBUSTIBLE MATERIAL, COMBUSTIBLE BUILDING SURFACE OR BUILDING OPENING. AN ATTENDANT SHALL BE WITHIN 100 FEET OF A KETTLE WHEN THE HEAT SOURCE IS OPERATING. A MINIMUM OF ONE (1) 20B.C PORTABLE FIRE EXTINGUISHER SHALL BE LOCATED WITHIN 30 FEET OF THE KETTLE, AND ON THE ROOF DURING ASPHALT COATING OPERATIONS.
- DRYWALL AND OTHER TEMPORARY HEATING DEVICES SHALL BE OF AN APPROVED TYPE, LOCATED AWAY FROM COMBUSTIBLE MATERIALS AND ATTENDED AND MAINTAINED AT ALL TIMES. EXISTING DUST CONTROL MEASURES SHALL BE PRACTICED OR EXCESSIVE WIND CONDITIONS CONTRIBUTE TO FUGITIVE DUST EMISSIONS.
- CUTTING AND WELDING OPERATIONS SHALL CONFORM TO THE HOT WORK PROVISIONS OF CHAPTER 35 OF THE FIRE CODE. A FIRE WATCH SHALL BE PROVIDED DURING HOT WORK ACTIVITIES AND SHALL CONTINUE FOR A MINIMUM OF 30 MINUTES AFTER THE CONCLUSION OF THE WORK.
- IF SITE SURVEY OR EARTH MOVING WORK RESULTS IN THE DISCOVERY OF HAZARDOUS MATERIALS IN CONTAINERS, OR WHAT APPEARS TO BE HAZARDOUS WASTES RELEASED INTO THE GROUND, THE CONTRACTOR OR APPLICANT SHALL IMMEDIATELY REPORT THE FINDING TO THE ROSEVILLE FIRE DEPARTMENT VIA PHONE AT (916) 774-5800. ALL SUSPECTED AREAS SHALL BE MARKED OFF WITH APPROVED SIGNAGE. CAUTION TAPED UNTIL SUCH TIME THAT A REPRESENTATIVE FROM THE FIRE DEPARTMENT DETERMINES WHETHER THE RELEASE IS REPORTABLE OR NOT AND IF SITE REMEDIATION IS REQUIRED.

CITY OF ROSEVILLE: GENERAL FIRE DEPARTMENT NOTES (CONT.)

- FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 OF THE CALIFORNIA FIRE CODE.
- ADEQUATE RADIO COVERAGE SHALL BE PROVIDED WITHIN BUILDINGS FOR PUBLIC SAFETY AGENCIES, AS REQUIRED BY FIRE CODE.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN OCCUPANCIES AND LOCATIONS AS SET FORTH IN THE CALIFORNIA FIRE CODE AND AS REQUIRED BY THE CHIEF. PROVIDE A MINIMUM OF ONE (1) PORTABLE FIRE EXTINGUISHER WITHIN EACH TENANT SPACE. THE MAXIMUM TRAVEL DISTANCE TO THE FIRE EXTINGUISHER SHALL NOT EXCEED 75-FEET. THE MINIMUM RATING CLASSIFICATION FOR THE EXTINGUISHER SHALL BE 2A:10. THE MAXIMUM TRAVEL DISTANCE TO THE FIRE EXTINGUISHER FROM ANY POINT IN A LIGHT HAZARD AREA OF CLASS A HAZARDS SHALL NOT BE MORE THAN 75 FEET FROM A CLASS 2A-10B.C FIRE EXTINGUISHER AND ONE EXTINGUISHER SHALL BE PROVIDED FOR EACH 6,000 SQUARE FEET. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN AN ORDINARY HAZARD OF CLASS A HAZARDS AREA SHALL NOT BE MORE THAN 75 FEET AND ONE EXTINGUISHER SHALL BE PROVIDED FOR EACH 3,000 SQUARE FEET. THE MAXIMUM TRAVEL DISTANCE TO CLASS B EXTINGUISHERS IS EITHER 30 FEET OR 50 FEET DEPENDING UPON THE SIZE OF THE EXTINGUISHER AND THE CLASSIFICATION OF THE HAZARD. REFER TO UFC STANDARD NO. 10-1 FOR COMPLETE REQUIREMENTS. ALL PORTABLE FIRE EXTINGUISHERS SHALL HAVE A SERVICE TAG AFFIXED TO THEM SHOWING THAT THE EXTINGUISHER HAS BEEN SERVICED BY A CALIFORNIA STATE LICENSED FIRE EXTINGUISHER CONCERN. ALL FIRE EXTINGUISHERS SHALL BE ATTACHED TO A BRACKET OR WITHIN AN APPROVED CABINET. MAXIMUM DISTANCE FROM THE FLOOR SHALL NOT EXCEED 54-INCHES. SIGNAGE SHALL BE POSTED ABOVE THE EXTINGUISHER AND SHALL READ FIRE EXTINGUISHER.
- THE REQUIRED MINIMUM FIRE FLOW FOR THE PROTECTION OF THE PROPOSED PROJECT IS _____ GALLONS PER MINUTE WITH 20 POUNDS PER SQUARE INCH RESIDUAL WATER PRESSURE REMAINING IN THE SYSTEM. A CHANGE IN ANY OF THE CONDITIONS MAY REQUIRE THE EQUIPMENT TO BE RE-EVALUATED.
- ALL UNDERGROUND FIRE LINE SHALL BE HYDRAULICALLY PRESSURED AT 200 PSI FOR TWO-HOURS PER THE NFPA STANDARD FOR UNDERGROUND FIRE WATER LINE. AN INSPECTION SHALL BE REQUIRED TO WITNESS THE TEST WITH A SUBSEQUENT INSPECTION AFTER THE TWO-HOUR DURATION TEST.
- TEMPORARY USE ON-SITE GENERATORS WITH OVER 60 GALLONS OF DIESEL FUEL SHALL REQUIRE A FIRE DEPARTMENT PERMIT AND MUST MEET THE REQUIREMENTS OF THE CHAPTER 6.95 OF THE HEALTH AND SAFETY CODE, THE ROSEVILLE FIRE DEPARTMENT AND THE NATIONAL FIRE CODES. CONTACT THE FIRE DEPARTMENT AT 916-774-5800 TO INITIATE THE PERMIT APPLICATION.
- SECTION 10.6.2 OF NFPA 24 HAS BEEN AMENDED NOT TO ALLOW MECHANICAL JOINTS UNDER BUILDINGS. SEE CHAPTER 8.0 OF THE CALIFORNIA FIRE CODE, PAGE 519. PROVIDE DETAIL OF THE PROPOSED REAR AND UNDERGROUND DETAIL TO THE PAD.
- CIVIL IMPROVEMENT PLANS SHALL BE RESUBMITTED IF IT HAS BEEN DETERMINED BY THE

CITY OF ROSEVILLE: PUBLIC MITIGATION MEASURES NOTES

BI0-1 WETLAND AVOIDANCE MEASURES: THE ORDER OF GRADING AND/OR DISTURBING ACTIVITIES SHALL BE SEASONAL WETLAND AND WETLAND SWALE THESE FEATURES SHALL BE COMPLETELY AVOIDED AND THE MEASURES BELOW SHALL BE IMPLEMENTED AND INCLUDED ON GRADING AND IMPROVEMENT PLANS. IDENTIFYING AND AVOIDING ONLY A NATIVE AMERICAN OCCUR WITHIN THE SETBACKS IDENTIFIED BELOW UNTIL ALL REGULATORY PERMITS HAVE BEEN ACQUIRED AS DETAILED IN MITIGATION MEASURE BI 5.

- SETBACKS OF AT LEAST 10 FEET FROM THE WETLANDS WILL BE SET TO DEMARKATE WHERE NO DEVELOPMENT WILL OCCUR.
- NO GRADING, SITE CONSTRUCTION, OR OTHER DISTURBANCE WITHIN 10 FEET OF ANY AQUATIC FEATURE WILL OCCUR AT ANY TIME. DISTURBANCE WITHIN, BUT MORE THAN 10 FEET FROM THE SETBACKS WILL BE LIMITED TO:
 - NO OCCUR UNTIL SILT FENCING, FIBER ROLLS, OR OTHER SIMILAR BMP IS INSTALLED AT LEAST 10 FEET AWAY AND ALONG THE PERIMETER OF THE ENCRACHTED FEATURE.
 - GRADED AREAS WILL BE COVERED WITH STRAW, MATS, NATURAL WOOD CHIPS WITH NO ARTIFICIAL DYES OR PRESERVATIVES, OR OTHER EROSION CONTROL MEASURE WITHIN 72 HOURS.
 - NO NUTRIENTS, PESTICIDES, FUEL, OR OTHER POTENTIAL POLLUTANTS WILL BE USED WITHIN 50 FEET OF ANY AQUATIC RESOURCE.
 - NO MACHINERY WILL OPERATE CLOSER THAN 15 FEET FROM AN AQUATIC RESOURCE. REQUIRED GRADING BETWEEN 10 AND 15 FEET FROM THE RESOURCE WILL BE CONDUCTED IN ONE PASS.
 - MACHINERY OPERATING BETWEEN 15 AND 25 FEET FROM AN INTERMITTENT DRAINAGE, OR BETWEEN 25 AND 50 FEET FROM A PERENNIAL DRAINAGE, WILL BE CHECKED DAILY FOR FUEL OR OIL DISCHARGE AND MOVED OUTSIDE THESE SETBACKS IF DISCHARGE IS FOUND.
 - NO GRADING WILL OCCUR WITHIN AQUATIC RESOURCE SETBACKS FOR AFTER 14 DAYS FOLLOWING A STORM EVENT OR 14 DAYS BEFORE THE NEXT ANTICIPATED STORM EVENT.
 - DURING CONSTRUCTION, THE CONSTRUCTION CREW SHALL CONDUCT DAILY CLEAN-UPS EFFORTS TO RID THE AREA OF TRASH AND DEBRIS.
 - A QUALIFIED BIOLOGIST SHALL MONITOR ALL CONSTRUCTION TO ENSURE THAT NO RESOURCE VIOLATIONS RELATED TO THE U.S. CLEAN WATER ACT (CWA), THE CALIFORNIA PORTER COLOGNE ACT (PCA), OR CALIFORNIA FISH AND GAME CODE (FGC) OCCUR.

BI0-2 PRE-CONSTRUCTION SURVEY FOR SPECIAL STATUS PLANT SPECIES: PRIOR TO GRADING OR IMPROVEMENT PLAN APPROVAL A QUALIFIED BOTANIST SHALL CONDUCT A BOTANICAL SURVEY FOR SPECIAL STATUS PLANT SPECIES WITHIN HABITATS ON THE SITE THAT MAY INCLUDE SPECIAL STATUS PLANT SPECIES WITH THE POTENTIAL TO OCCUR ON THE SITE.

IT SHOULD BE NOTED THAT WEATHER CONDITIONS DURING ANY GIVEN SURVEY YEAR MAY REQUIRE SURVEYS TO BE CONDUCTED EARLIER OR LATER IN THE TYPICAL BLOOMING PERIOD IN ORDER TO CONDUCT THE SURVEY DURING THE APPROPRIATE WEATHER CONDITIONS FOR THE SURVEY YEAR. THIS TIMING MAY RESULT IN THE NEED TO CONDUCT MORE THAN ONE ROUND OF PLANT SURVEYS TO ADEQUATELY SURVEY FOR ALL POTENTIALLY OCCURRING SPECIAL-STATUS PLANT SPECIES. THE RESULTS OF THESE SURVEYS SHOULD BE DOCUMENTED IN A LETTER REPORT TO THE CITY OF ROSEVILLE.

IF NO SPECIAL-STATUS PLANTS ARE OBSERVED DURING THE RECOMMENDED BOTANICAL SURVEYS, NO ADDITIONAL MEASURES ARE RECOMMENDED. IF ANY OF THE NON-LISTED SPECIAL-STATUS PLANTS ARE IDENTIFIED WITHIN AREAS OF POTENTIAL CONSTRUCTION DISTURBANCE, THE PLANTS AND/OR THE SEED BANK SHOULD BE TRANSPLANTED TO SUITABLE HABITAT NEAR THE PROJECT SITE SINCE THE ENTIRE SITE IS SLATED FOR DEVELOPMENT. A QUALIFIED BIOLOGIST SHOULD PREPARE AN AVOIDANCE AND MITIGATION PLAN TO CONDUCT MONITORING AND/OR VEGETATION REMOVAL PROTECTION AND AVOIDANCE MEASURES, TRANSPLANTING PROCEDURES, SUCCESS CRITERIA, AND LONG-TERM MONITORING PROTOCOLS. IN ADDITION, A PRE-CONSTRUCTION WORKER AWARENESS TRAINING SHOULD BE CONDUCTED ALERTING WORKERS TO THE PRESENCE OF AND PROTECTIONS FOR SPECIAL-STATUS PLANTS IN THE VICINITY OF THE WORK AREA.

IF ANY STATE-LISTED PLANTS OCCUR WITHIN THE PROJECT FOOTPRINT, AN INCIDENTAL TAKE PERMIT (ITP) WOULD BE REQUIRED FROM THE CDFW IF TOTAL AVOIDANCE IS NOT ACHIEVABLE.

BI0-3 PRE-CONSTRUCTION NESTING SURVEY: MIGRATORY BIRDS AND OTHER BIRDS OF PREY, PROTECTED UNDER 50 CFR 10 OF THE MESA AND/OR SECTION 3503 OF THE CALIFORNIA FISH AND GAME CODES ARE THE POTIAL TO NESTS ON AND ADJACENT TO THE PROJECT SITE. GROUND-DISTURBING ACTIVITIES AND/OR VEGETATION CLEARING OPERATIONS, INCLUDING PRUNING OR REMOVAL OF TREES AND SHRUBS, SHALL BE COMPLETED BETWEEN SEPTEMBER 11 TO FEBRUARY 14, IF FEASIBLE. IF GROUND-DISTURBING ACTIVITIES AND/OR VEGETATION REMOVAL BEGINS DURING THE NESTING SEASON (FEBRUARY 15 TO AUGUST 31), THE DEVELOPER SHALL HAVE A QUALIFIED BIOLOGIST CONDUCT A PRE-CONSTRUCTION SURVEY FOR ACTIVE NESTS WITHIN 300 FEET OF THE PROJECT SITE. THE PRE-CONSTRUCTION SURVEY WILL BE CONDUCTED WITHIN 14 DAYS PRIOR TO COMMENCEMENT OF GROUND-DISTURBING ACTIVITIES AND/OR VEGETATION REMOVAL. THE BIOLOGIST SHALL PROVIDE A BRIEF WRITTEN REPORT (INCLUDING THE DATE, TIME OF SURVEY, SURVEY METHOD, NAME OF SURVEYOR, AND SURVEY RESULTS) TO CITY PLANNING PRIOR TO ANY GROUND-DISTURBING ACTIVITY OR VEGETATION REMOVAL. IF THE PRE-CONSTRUCTION SURVEY SHOWS THAT THERE IS NO EVIDENCE OF ACTIVE NESTS, NO ADDITIONAL MEASURES ARE REQUIRED. IF CONSTRUCTION DOES NOT COMMENCE WITHIN 14 DAYS OF THE PRE-CONSTRUCTION SURVEY, OR HALTS FOR MORE THAN 14 DAYS, AN ADDITIONAL PRE-CONSTRUCTION SURVEY SHALL BE REQUIRED.

IF ANY ACTIVE NESTS ARE LOCATED WITHIN THE VICINITY OF THE PROPOSED PROJECT THE QUALIFIED BIOLOGIST SHALL DELINEATE AN APPROPRIATE BUFFER ZONE, SUBJECT TO APPROVAL OF CITY PLANNING AND IN CONSULTATION WITH ANY OTHER APPROPRIATE AGENCIES, WITH CONSTRUCTION SETBACKS, TAPE OR PIN FLAGS AND MAINTAIN THE BUFFER ZONE UNTIL THE END OF THE BREEDING SEASON OR THE YOUNG HAVE SUCCESSFULLY FLEDGED. BUFFER ZONES ARE 150 TO 250 FEET FROM ACTIVE NESTS AND 250 FEET FOR RAPTOR NESTS. IF ACTIVE NESTS ARE FOUND ONSITE, A QUALIFIED BIOLOGIST SHALL MONITOR NESTS WEEKLY DURING CONSTRUCTION TO ENSURE ACTIVITIES ARE NOT CAUSING NESTING DISTURBANCE.

CUL-1 INADVERTENT DISCOVERIES: THE FOLLOWING MEASURE IS INTENDED TO ADDRESS INADVERTENT DISCOVERIES OF POTENTIAL TRIBAL CULTURAL RESOURCES OR OTHER CULTURAL OR CULTURAL RESOURCES DURING A PROJECT'S GROUND DISTURBING ACTIVITIES.

- IF ANY TCRS ARE DISCOVERED DURING GROUND DISTURBING CONSTRUCTION ACTIVITIES, ALL WORK SHALL CEASE WITHIN 100 FEET OF THE FIND. THE APPROPRIATE TRIBAL REPRESENTATIVE FROM CULTURALLY AFFILIATED TRIBES SHALL BE IMMEDIATELY NOTIFIED.
- WORK AT THE DISCOVERY LOCATION CANNOT RESUME UNTIL IT IS DETERMINED, IN CONSULTATION WITH CULTURALLY AFFILIATED TRIBES, THAT THE FIND IS NOT A TOR, OR THAT THE FIND IS A TOR AND ALL NECESSARY INVESTIGATION AND EVALUATION OF THE DISCOVERY UNDER THE REQUIREMENTS OF THE CEQA, INCLUDING AB 52, HAS BEEN SATISFIED. PRESERVATION IN PLACE IS THE PREFERRED ALTERNATIVE UNDER CEQA AND UACB PROTOCOLS, AND EVERY EFFORT MUST BE MADE TO PRESERVE THE RESOURCES IN PLACE, INCLUDING THROUGH PROJECT REDESIGN. AND THE CONTRACTOR SHALL IMPLEMENT ANY MEASURES REQUIRED BY THE CEQA LEAD AGENCY TO BE NECESSARY AND FEASIBLE TO PRESERVE IN PLACE, AVOID, OR MINIMIZE IMPACTS TO THE RESOURCE, INCLUDING, BUT NOT LIMITED TO, FACILITATING THE APPROPRIATE TRIBAL TREATMENT OF THE FIND, AS NECESSARY.

TCR-1 NATIVE AMERICAN TRIBAL MONITORING: THE FOLLOWING MITIGATION MEASURE IS INTENDED TO MINIMIZE IMPACTS TO EXISTING OR POTENTIAL TRIBAL CULTURAL RESOURCES (TCRS) AT THE EARLIEST POSSIBLE TIME DURING PROJECT-RELATED EARTHMOVING ACTIVITIES. PRIOR TO APPROVAL OF GRADING OR IMPROVEMENT PLANS THE APPLICANT SHALL PROVIDE TO THE CITY DOCUMENTATION OF AN AGREEMENT BETWEEN THE DEVELOPER AND UACB SHOWING THE FOLLOWING:

1. UACB SHALL PROVIDE DOCUMENTATION, TO THE SATISFACTION OF THE DEVELOPER, SHOWING THAT THE TRIBAL MONITOR MEETS THE DEVELOPER'S ON-SITE MONITORING AND UACB SHOWING THE FOLLOWING:
 2. CONSULTING TRIBES SHALL BE CONTACTED AT LEAST TWO WEEKS PRIOR TO PROJECT GROUND-DISTURBING ACTIVITIES IN ORDER TO RETAIN THE SERVICES OF A PAID TRIBAL MONITOR/S. THE DURATION OF THE MONITORING AND CONSTRUCTION SCHEDULE SHALL BE DETERMINED AT THIS TIME.
 3. IN ORDER TO TRACK THE STATUS OF MITIGATION MEASURE IMPLEMENTATION, FIELD-MONITORING ACTIVITIES WILL BE DOCUMENTED ON A TRIBAL MONITOR LOG. THE TOTAL TIME COMMITMENT OF THE TRIBAL MONITOR WILL VARY DEPENDING ON THE INTENSITY AND LOCATION OF CONSTRUCTION AND THE SENSITIVITY OF THE AREA, INCLUDING THE NUMBER OF FINDS.
 4. A PAID TRIBAL MONITOR/S FROM TRADITIONALLY AND CULTURALLY AFFILIATED NATIVE AMERICAN TRIBES WILL MONITOR THE VEGETATION GRUBBING, STRIPPING, GRADING, OR OTHER GROUND-DISTURBING ACTIVITIES IN THE PROJECT AREA. THE TRIBAL MONITOR/S SHALL WEAR THE APPROPRIATE SAFETY EQUIPMENT.
 5. NATIVE AMERICAN REPRESENTATIVES AND TRIBAL MONITORS ACT AS REPRESENTATIVE OF THEIR TRIBAL GOVERNMENT AND HAVE THE AUTHORITY TO IDENTIFY SITES OR OBJECTS OF CULTURAL VALUE TO NATIVE AMERICANS AND RECOMMEND APPROPRIATE TREATMENT OF SUCH

CITY OF ROSEVILLE: PUBLIC MITIGATION MEASURES NOTES (CONT.)

SITES OR OBJECTS. NATIVE AMERICAN MONITORS OR THEIR REPRESENTATIVES HAVE THE AUTHORITY TO REQUEST THAT WORK BE TEMPORARILY STOPPED, DIVERTED, OR SLOWED WITHIN 100 FEET OF THE DIRECT IMPACT AREA IF SITES OR OBJECTS OF SIGNIFICANCE ARE IDENTIFIED. ONLY A NATIVE AMERICAN MONITOR OR REPRESENTATIVE FROM A CULTURALLY AFFILIATED TRIBE CAN RECOMMEND APPROPRIATE TREATMENT AND FINAL DISPOSITION OF TCRS.

MM 4.4-1 DUST AND CONSTRUCTION CONTROL MEASURES: IN ACCORDANCE WITH THE PCAPOD, THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS AS LISTED ABOVE (E.G., RULE 202, 218 AND 228). IN ADDITION, AT THE TIME OF TENTATIVE MAP, THE APPLICANT(S) SHALL IMPLEMENT A MINIMUM OF FIVE (5) OF THE FOLLOWING MEASURES UNLESS SUPERSEDED BY STATE OR OTHER MORE STRINGENT STANDARDS:

THE FOLLOWING MITIGATION MEASURES SHALL BE IMPLEMENTED TO REDUCE SHORT-TERM CONSTRUCTION-RELATED AIR QUALITY IMPACTS. IN ADDITION, DUST CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED BY ALL PROJECTS IN ACCORDANCE WITH THE CITY OF ROSEVILLE GRADING ORDINANCE, AND THE PCAPOD FUGITIVE DUST RULE 228.

APPLICANT SHALL SUBMIT TO PCAPOD A CONSTRUCTION EMISSIONS / DUST CONTROL PLAN WITHIN 30 DAYS PRIOR TO GROUND BREAKING. IF THE PCAPOD DOES NOT RESPOND WITHIN 20 DAYS, THE PLAN SHALL BE CONSIDERED APPROVED. THE PLAN MUST ADDRESS THE MINIMUM REQUIREMENTS FOUND IN SECTION 300 AND 400 OF DISTRICT RULE 228, FUGITIVE DUST ([WWW.PLACER.CA.GOV/AIRPOLLUT.HTM](http://www.placer.ca.gov/airpollut.htm)). THE APPLICANT SHALL KEEP A HARD OR ELECTRONIC COPY OF RULE 228, FUGITIVE DUST ON-SITE FOR REFERENCE.

THE CONSTRUCTION EMISSIONS/DUST CONTROL PLAN SHALL INCLUDE A COMPREHENSIVE INVENTORY (E.G., YEARLY EMISSION RATINGS) OF ALL HEAVY-DUTY OFF-ROAD EQUIPMENT (50 HORSEPOWER (HP) OF GREATER) THAT WILL BE USED AN AGGREGATE OF 40 OR MORE HOURS FOR THE CONSTRUCTION PROJECT. IF ANY NEW EQUIPMENT IS ADDED AFTER SUBMISSION OF THE INVENTORY, THE PRIME CONTRACTOR SHALL THE PRIME CONTRACTOR SHALL CONTACT THE APCD PRIOR TO THE NEW EQUIPMENT BEING UTILIZED. THE PROJECT REPRESENTATIVE SHALL PROVIDE PCAPOD WITH THE ANTICIPATED CONSTRUCTION TIMELINE INCLUDING START DATE, AND NAME AND PHONE NUMBER OF THE PROJECT MANAGER AND ON-SITE SUPERVISOR. THE PLAN SHALL DEMONSTRATE THAT THE HEAVY-DUTY (> 50 HP) OFF-ROAD VEHICLES TO BE USED IN THE CONSTRUCTION PROJECT, INCLUDING OWNED, LEASED AND SUBCONTRACTOR VEHICLES, WILL ACHIEVE A PROJECT WIDE FLEET- AVERAGE 20% NOX REDUCTION AND 45% PARTICULATE REDUCTION COMPARED TO THE MOST RECENT AIR FLEET AVERAGE. PCAPOD SHALL BE CONTACTED FOR AVERAGE FLEET EMISSION DATA. ACCEPTABLE OPTIONS FOR REDUCING EMISSIONS MAY INCLUDE USE OF LATE MODEL ENGINES, PRE-EMISSION DIESEL PRODUCTS, ALTERNATIVE FUELS, ENGINE RETROFIT TECHNOLOGY, AFTER TREATMENT PRODUCTS, AND/OR OTHER OPTIONS AS THEY BECOME AVAILABLE. CONTRACTORS CAN ACCESS THE SACRAMENTO METROPOLITAN AIR QUALITY MANAGEMENT DISTRICT WEBSITE TO DETERMINE IF THEIR OFF-ROAD FLEET MEETS THE REQUIREMENTS LISTED IN THIS MEASURE ([HTTP://WWW.AIRQUALITY.ORG/CEQA/CONSTRUCTION_MITIGATION_CALCULATOR.XLS](http://www.airquality.org/ceqa/construction_mitigation_calculator.xls)).

THE FOLLOWING MEASURES ARE ALSO INCLUDED TO REDUCE CONSTRUCTION-RELATED ROG, NOX, PM10, AND PM2.5 EMISSIONS:

- ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATING UNDER OPTIMAL OPERATING CONDITION. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION EQUIPMENT IS BEING PROPERLY SERVICED AND MAINTAINED AS PER THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE RECORDS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE FOR VERIFICATION. THIS MEASURE WILL REDUCE COMBUSTION EMISSIONS OF ALL CRITERIA AIR POLLUTANTS.
- PRIOR TO THE ISSUANCE OF ANY GRADING PERMITS, ALL APPLICANTS SHALL SUBMIT CONSTRUCTION PLANS DENOTING THE PROPOSED SCHEDULE AND PROJECTED EQUIPMENT USE. CONSTRUCTION CONTRACTORS SHALL PROVIDE EVIDENCE THAT LOW EMISSION MOBILE CONSTRUCTION WILL BE USED, OR THAT THEIR USE WAS INVESTIGATED AND FOUND TO BE UNFEASIBLE. LOW EMISSION EQUIPMENT IS DEFINED AS MEETING THE CALIFORNIA AIR RESOURCES BOARD'S TIER III STANDARDS. CONTRACTORS SHALL ALSO CONFORM TO ANY CONSTRUCTION MEASURES IMPOSED BY THE PCAPOD AS WELL AS CITY PLANNING STAFF. THIS MEASURE WILL PRIMARILY REDUCE ROG, NOX, PM10, AND PM2.5 EXHAUST EMISSIONS.

- PAINTS AND COATING SHALL BE APPLIED EITHER BY HAND OR BY HIGH VOLUME, LOW-PRESSURE SPRAY. THIS MEASURE WILL REDUCE EVAPORATIVE ROG EMISSIONS.

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING MEASURES TO REDUCE FUGITIVE DUST RELATED EMISSIONS OF PM10 AND PM2.5:
 - MAINTAIN A MINIMUM 24-INCH FRICTION ON SOIL HAUL TRUCKS OR COVER PAYLOADS USING TARPS OR OTHER SUITABLE MEANS.
 - SUSPEND GRADING OPERATIONS DURING HIGH WINDS (GREATER THAN 15 MPH).
 - SWEEP STREETS AS NECESSARY IF SILT IS CARRIED OFF-SITE TO ADJACENT PUBLIC THROUGHWAYS OR OCCURS AS A RESULT OF HAULING.
 - DISPOSE OF SURPLUS EXCAVATED MATERIAL IN ACCORDANCE WITH LOCAL ORDINANCES AND USE SOUND ENGINEERING PRACTICES TO PREVENT DUST.
 - SCHEDULE ACTIVITIES TO MINIMIZE THE AMOUNTS OF EXPOSED EXCAVATED SOIL DURING AND AFTER THE END OF WORK PERIODS.
 - PHASE GRADING INTO SMALLER AREAS TO PREVENT THE SUSCEPTIBILITY OF LARGER AREAS TO EROSION OVER EXTENDED PERIODS OF TIME.
 - PAVE OR APPLY GRAVEL TO ANY ON-SITE HAUL ROADS.
 - REESTABLISH GROUND COVER ON THE CONSTRUCTION SITE THROUGH SEEDING AND WATER.
 - CLEAN EARTH MOVING CONSTRUCTION EQUIPMENT WITH WATER OR SWEEP CLEAN, ONCE PER DAY, OR AS NECESSARY (E.G., WHEN MOVING ONSITE), CONSISTENT WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES AND THE ROSEVILLE GRADING ORDINANCE. WATER SHALL BE APPLIED TO CONTROL DUST AS NEEDED TO PREVENT DUST IMPACTS OFFSITE. OPERATIONAL WATER TRUCK(S), SHALL BE ON-SITE, AS REQUIRED, TO CONTROL FUGITIVE DUST. CONSTRUCTION VEHICLES LEAVING THE SITE SHALL BE CLEANED, AS NEEDED, TO PREVENT DUST, SILT, MUD, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE.

- SPREAD SOIL BINDERS ON UNPAVED ROADS AND EMPLOYEE/EQUIPMENT PARKING AREAS. SOIL BINDERS SHALL BE NON-TOXIC IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. APPLY APPROVED CHEMICAL SOIL STABILIZERS, OR VEGETATED MATS, ETC. ACCORDING TO MANUFACTURER'S SPECIFICATIONS, TO ALL IN-ACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS WHICH REMAIN INACTIVE FOR 96 HOURS).
- MINIMIZE DIESEL IDLING TIME TO A MAXIMUM OF FIVE MINUTES.
- UTILIZE EXISTING POWER SOURCES (E.G., POWER POLES) OR CLEAN FUEL GENERATORS RATHER THAN TEMPORARY DIESEL POWER GENERATORS, IF FEASIBLE.
- AN APPLICANT REPRESENTATIVE, ARB-CERTIFIED TO PERFORM VISIBLE EMISSIONS EVALUATIONS (VEE), SHALL ROUTINELY (I.E., ONCE PER WEEK) EVALUATE PROJECT RELATED OFF-ROAD AND HEAVY-DUTY ON-ROAD EQUIPMENT EMISSIONS FOR COMPLIANCE WITH THIS MEASURE. EMISSIONS SHALL BE MONITORED AT LEAST 20 ACRES IN SIZE, REGARDLESS OF HOW MANY ACRES ARE TO BE DISTURBED DAILY.
- CONSTRUCTION EQUIPMENT EXHAUST EMISSIONS SHALL NOT EXCEED THE PCAPOD VISIBLE EMISSIONS RULE 202. FUGITIVE DUST IS NOT TO EXCEED 40% OPACITY AND NOT GO BEYOND PROPERTY BOUNDARY AT ANY TIME. OPERATORS OF VEHICLES AND EQUIPMENT FOUND TO EXCEED OPACITY LIMITS ARE TO BE IMMEDIATELY NOTIFIED AND THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS.

THE FOLLOWING MEASURES WILL BE REQUIRED:

1. INCLUDE THE FOLLOWING STANDARD NOTE ON THE IMPROVEMENT/GRADING PLAN, IF REQUIRED BY THE PUBLIC WORKS DEPARTMENT, THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING PRIOR TO GRADING ACTIVITIES. THE CONTRACTOR SHALL INVITE THE PLACER COUNTY APCD TO THE PRE-CONSTRUCTION MEETING IN ORDER TO DISCUSS THE CONSTRUCTION EMISSIONS/DUST CONTROL PLAN WITH EMPLOYEES AND/OR CONTRACTORS.
2. PRIOR TO BUILDING PERMIT APPROVAL, THE APPLICANT SHALL SHOW, ON THE PLANS SUBMITTED TO THE BUILDING DEPARTMENT, THAT ELECTRICAL OUTLETS SHALL BE INSTALLED ON THE EXTERIOR WALLS OF THE FRONT AND BACK OF ALL RESIDENCES OR ALL COMMERCIAL BUILDINGS TO PROMOTE THE USE OF ELECTRIC LANDSCAPE MAINTENANCE EQUIPMENT.

3. PRIOR TO BUILDING PERMIT APPROVAL, THE APPLICANT SHALL SHOW, ON THE PLANS SUBMITTED TO THE BUILDING DEPARTMENT, PROVISIONS FOR CONSTRUCTION OF NEW RESIDENCES, AND WHERE NATURAL GAS IS AVAILABLE, THE INSTALLATION OF A GAS OUTLET FOR USE WITH OUTDOOR COOKING APPLIANCES, SUCH AS A GAS BARBECUE OR OUTDOOR RECREATIONAL FIRE PITS.

CITY OF ROSEVILLE: PUBLIC MITIGATION MEASURES NOTES (CONT.)

4. PRIOR TO BUILDING PERMIT APPROVAL, IN ACCORDANCE WITH DISTRICT RULE 225, RAPTORS AND OTHER BIRDS OF PREY THAT ARE PROTECTED SHALL BE ALLOWED IN SINGLE-FAMILY RESIDENCES. THE EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED A CUMULATIVE TOTAL OF 7.5 GRAMS PER OBJECTS OF SIGNIFICANCE ARE IDENTIFIED. ONLY A NATIVE AMERICAN CERTIFIED PHASE II WOOD BURNING DEVICE OR SHALL BE U.S. LISTED DECORATIVE GAS APPLIANCE. (RULE 225)

5. WOOD BURNING OR PELLET APPLIANCES SHALL NOT BE PERMITTED IN MULTI-FAMILY DEVELOPMENTS. ONLY NATURAL GAS OR PROPANE FIRED FIREPLACE APPLIANCES ARE PERMITTED. THESE APPLIANCES SHALL BE CLEARLY DELINEATED ON THE FLOOR PLANS SUBMITTED IN CONJUNCTION WITH THE BUILDING PERMIT APPLICATION. (RULE 225 / SECTION 302.2)

6. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SHOW THAT ALL FLAT ROOFS WITH PARAPETS SHALL INCLUDE A WHITE OR SILVER CAP SHEET TO REDUCE ENERGY DEMANDS.

7. DIESEL TRUCKS SHALL BE PROHIBITED FROM IDLING MORE THAN FIVE MINUTES. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SHOW THAT ALL TRUCK LOADING AND UNLOADING DOCKS SHALL BE EQUIPPED WITH ONE 110/208 VOLT POWER OUTLET FOR EVERY TWO DOCK WORKS. DIESEL TRUCKS IDLING FOR MORE THAN FIVE MINUTES SHALL BE REQUIRED TO CONNECT TO THE 110/208 VOLT POWER TO RUN ANY AUXILIARY EQUIPMENT. 2'x3' SIGNAGE WHICH INDICATES 'DIESEL ENGINE IDLING LIMITED TO A MAXIMUM OF 5 MINUTES' SHALL BE SHOWN ON THE BUILDING ELEVATIONS AND SHALL BE SUBMITTED TO THE PLACER COUNTY APCD PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THE PROJECT.

8. PRIOR TO APPROVAL OF IMPROVEMENT PLANS, AN ENFORCEMENT PLAN SHALL BE ESTABLISHED AND SUBMITTED TO THE APCD FOR REVIEW. IN ORDER TO EVALUATE PROJECT-RELATED ON-AND-OFF-ROAD HEAVY-DUTY VEHICLE ENGINE EMISSION OPACITIES ON A WEEKLY BASIS, USING STANDARDS AS DEFINED IN CALIFORNIA CODE OF REGULATIONS, TITLE 13, SECTIONS 2180 - 2194, AN ENVIRONMENTAL COORDINATOR, HIRED BY THE PRIME CONTRACTOR OR PROPERTY OWNER, AND WHO IS CARB-CERTIFIED TO PERFORM VISIBLE EMISSIONS EVALUATIONS (VEE), SHALL ROUTINELY EVALUATE PROJECT RELATED OFF-ROAD AND ROAD EQUIPMENT EMISSIONS FOR COMPLIANCE WITH THIS REQUIREMENT. OPERATORS OF VEHICLES AND EQUIPMENT FOUND TO EXCEED OPACITY LIMITS WILL BE NOTIFIED BY APCD AND THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS. (CALIFORNIA CODE OF REGULATIONS, TITLE 13, SECTIONS 2180 - 2194)

THE PROJECT SHALL COMPLY WITH ALL APPLICABLE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT RULES AND REGULATIONS, AND SHALL OBTAIN APPLICABLE PERMITS AND/OR CLEARANCES FROM THE DISTRICT PRIOR TO THE START OF CONSTRUCTION. THE PROJECT SHALL BE REQUIRED TO OBTAIN A PERMIT FROM THE DISTRICT PRIOR TO CONSTRUCTION AND OBTAIN ANY NECESSARY PERMITS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. (RULE 501)

PURSUANT TO THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT RULE 501, GENERAL PERMIT REQUIREMENTS, THE PROPOSED PROJECT MAY NEED A PERMIT FROM THE DISTRICT PRIOR TO CONSTRUCTION. IN GENERAL, ANY ENGINE GREATER THAN 50 BRAKE HORSEPOWER OR ANY BOILER WITH HEAT RECOVERY OR HEAVY DUTY ON-ROAD EQUIPMENT REQUIRING A PERMIT ISSUED BY THE DISTRICT. (RULE 501)

ALL ON-SITE STATIONARY EQUIPMENT WHICH IS CLASSIFIED AS 50 HP OR GREATER SHALL EITHER OBTAIN A STATE ISSUED PORTABLE EQUIPMENT PERMIT OR A PLACER COUNTY ISSUED PORTABLE EQUIPMENT PERMIT. PORTABLE EQUIPMENT (CALIFORNIA PORTABLE EQUIPMENT REGISTRATION PROGRAM, SECTION 2452). THE CONTRACTOR SHALL UTILIZE EXISTING POWER SOURCES (E.G., POWER POLES) OR CLEAN FUEL GENERATORS RATHER THAN TEMPORARY DIESEL POWER GENERATORS, IF FEASIBLE.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MINIMIZE IDLING TIME TO A MAXIMUM OF 5 MINUTES FOR ALL DIESEL POWERED EQUIPMENT. DURING CONSTRUCTION, TRAFFIC SPEEDS ON ALL UNPAVED SURFACES SHALL BE LIMITED TO 15 MPH PER HOUR OR LESS. (RULE 228 / SECTION 401.2)

MM 4.5-1 AIR QUALITY MEASURES: IMPLEMENTATION OF THE AIR QUALITY MITIGATION MEASURES LISTED IN SECTION 4.3 AIR QUALITY WOULD REDUCE OPERATIONAL AND CONSTRUCTION-RELATED EMISSIONS OF CRITERIA AIR POLLUTANTS AND PRECURSORS, AND WOULD ALSO ACT TO REDUCE GHG EMISSIONS ASSOCIATED WITH PROJECT CONSTRUCTION AND OPERATION. MITIGATION MEASURE 4.4-1 FOUND IN THE AIR QUALITY SECTION OF THIS EIR, IS RELEVANT TO IMPACT 4.5-1 BECAUSE BOTH EMISSIONS ASSOCIATED WITH THE PROPOSED PROJECT. CERTAIN MEASURES WOULD ALREADY BE COMPONENTS OF THE PROJECT (I.E., SPECIFIC PLAN POLICIES, DESIGN GUIDELINES AND STANDARDS), AND/OR WOULD BE APPLIED CONSISTENT WITH THE CITY'S GENERAL PLAN POLICIES. ADDRESSING GHG EMISSIONS AND CLIMATE CHANGE, BUT ARE PROVIDED HERE FOR PURPOSES OF COMPLETENESS.

MM 4.6-1 CONSTRUCTION NOISE REDUCTION: CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ROSEVILLE NOISE ORDINANCE. LOCATE FIXED CONSTRUCTION EQUIPMENT SUCH AS COMPRESSORS AND GENERATORS AS FAR AS POSSIBLE FROM SENSITIVE RECEPTORS. SHROUD OR MOUND WITH SOUND BARRIERS OR SHIELD ALL IN-TAKE AND EXHAUST PORTS ON POWER CONSTRUCTION EQUIPMENT. DESIGNATE A CONSTRUCTION DISTURBANCE COORDINATOR AND CONSPICUOUSLY POST THE CONTRACTOR'S CONTACT INFORMATION AROUND THE PROJECT SITE AND IN ADJACENT PUBLIC AREAS. THE DISTURBANCE COORDINATOR WILL RESPOND TO PUBLIC COMPLAINTS ABOUT CONSTRUCTION NOISE DISTURBANCES, AND WILL BE RESPONSIBLE FOR DETERMINING THE CAUSE OF THE COMPLAINT, AND IMPLEMENTING ANY FEASIBLE MEASURES TO BE TAKEN TO ALLEVIATE THE PROBLEM.

WELL DRILLING SHALL OCCUR PRIOR TO CONSTRUCTION OF THE ADJACENT SUBDIVISION, TO THE EXTENT FEASIBLE. IF CONSTRUCTION TIMING FOR THE WELLS OCCURS AFTER SUBDIVISION CONSTRUCTION, THEN MEASURES TO REDUCE NOISE SHALL INCLUDE SOUND BARRIERS, SOUND CONTROL CURTAINS AROUND THE DRILLING APPARATUS, AND THE DRILL RIG, TO THE DEGREE FEASIBLE, AS DETERMINED BY THE ENVIRONMENTAL UTILITIES DIRECTOR, IF DRILLING WITHIN 1,000- FEET OF AN OCCUPIED RESIDENCE.

MM 4.8-3 AVOID NESTING SITES: TO ENSURE THAT FULLY PROTECTED BIRD AND RAPTOR SPECIES ARE NOT INJURED OR DISTURBED BY CONSTRUCTION IN THE VICINITY OF NESTING HABITAT, THE PROJECT APPLICANT SHALL IMPLEMENT THE FOLLOWING MEASURES:

RAPTORS

- A) WHEN FEASIBLE, ALL TREE REMOVAL SHALL OCCUR BETWEEN AUGUST 30TH AND FEBRUARY 15TH TO AVOID THE BREEDING SEASON OF ANY RAPTOR SPECIES THAT COULD BE USING THE AREA, AND TO DISCOURAGE HAWKS FROM NESTING IN THE VICINITY OF AN UPCOMING CONSTRUCTION AREA.
- B) FOR SWAINSON'S HAWK, IF AVOIDANCE OF TREE REMOVAL OUTSIDE THE BREEDING SEASON IS NOT FEASIBLE AND A NEST IS IDENTIFIED, THE APPLICANTS WOULD BE REQUIRED TO OBTAIN A 2081 PERMIT FROM CDFG TO MITIGATE FOR POTENTIAL "TAKE" UNDER CESA. IF NO NESTING IS OCCURRING, A TAKE PERMIT WOULD NOT BE REQUIRED.
- C) PRIOR TO THE BEGINNING OF MASS GRADING, INCLUDING GRADING FOR MAJOR INFRASTRUCTURE IMPROVEMENTS, DURING THE PERIOD BETWEEN FEBRUARY 15TH AND AUGUST 30TH, ALL TREES AND POTENTIAL BURROWING OWL HABITAT WITHIN 350 FEET OF ANY GRADING OR EARTHMOVING ACTIVITY SHALL BE SURVEYED FOR ACTIVE RAPTOR NESTS OR BURROWS BY A QUALIFIED BIOLOGIST NO MORE THAN 30-DAYS PRIOR TO DISTURBANCE. IF ACTIVE RAPTOR NESTS OR BURROWS ARE FOUND, AND THE SITE IS WITHIN 350- FEET OF POTENTIAL CONSTRUCTION ACTIVITY, A HIGHLY VISIBLE TEMPORARY FENCE SHALL BE ERECTED AROUND THE TREE OR BURROW(S) AT A DISTANCE OF UP TO 350- FEET, DEPENDING ON THE SPECIES, FROM THE EDGE OF THE CANOPY TO PREVENT CONSTRUCTION DISTURBANCE AND INTRUSIONS ON THE NEST AREA.
- D) PRECONSTRUCTION AND NON-BREEDING SEASON EXCLUSION MEASURES SHALL BE DEVELOPED IN CONSULTATION WITH CDFG, AND SHALL PRECLUDE BURROWING OWL OCCUPATION OF THE PORTIONS OF THE PROJECT SITE SUBJECT TO DISTURBANCE SUCH AS GRADING. BURROWING OWLS MAY BE PASSIVELY EXCLUDED FROM BURROWS IN CONSTRUCTION AREAS BY PLACING ONE-WAY DOORS IN THE BURROWS ACCORDING TO CDFG PROTOCOL. THE BURROWS PRESERVED SHALL BE IN PLACE FOR A MINIMUM OF THREE DAYS. ALL BURROWS THAT MAY BE OCCUPIED BY BURROWING OWLS REGARDLESS OF WHETHER THEY EXHIBIT SIGNS OF OCCUPATION MUST BE CLEARED WITH THE ONE-WAY DOORS. BURROWS THAT HAVE BEEN CLEARED THROUGH THE USE OF THE ONE-WAY DOORS SHALL THEN BE CLOSED OR BACKFILLED TO PREVENT OWLS FROM ENTERING THE BURROW.

CITY OF ROSEVILLE: PUBLIC MITIGATION MEASURES NOTES (CONT.)

E) NO CONSTRUCTION VEHICLES SHALL BE PERMITTED WITHIN RESTRICTED AREAS (I.E., RAPTOR PROTECTION ZONES) UNLESS DIRECTLY RELATED TO THE MANAGEMENT OR PROTECTION OF THE LEGALLY PROTECTED SPECIES.

F) IF A LEGALLY PROTECTED SPECIES NEST IS LOCATED IN A TREE DESIGNATED FOR REMOVAL, THE REMOVAL SHALL BE DEFERRED UNTIL AFTER AUGUST 30TH OF THE BREEDING SEASON AND THE ADULTS AND YOUNG ARE NO LONGER DEPENDENT ON THE NEST SITE AS DETERMINED BY A QUALIFIED BIOLOGIST.

BLACK RAILS AND TRI-COLORED BLACKBIRDS: PRIOR TO EARTH MOVING THAT WOULD DISTURB MARSH HABITAT, A QUALIFIED BIOLOGIST SHALL CONDUCT SURVEYS TO DETERMINE THE PRESENCE OF THE CALIFORNIA BLACK RAIL, IF EITHER OF THESE SPECIES IS FOUND, ALL EARTH MOVING WITHIN 250 FEET SHALL STOP AND MEASURES, INCLUDING ESTABLISHING RAPTOR PROTECTION BUFFERS ALONG BOTH SIDES OF CURRY CREEK DURING THE NESTING SEASON (GENERALLY FEBRUARY 1 THROUGH AUGUST 31ST) SHALL BE IMPLEMENTED.

ROOKERIES: NO HERON ROOKERIES ARE PRESENT WITHIN THE PLAN AREA. PRIOR TO EARTHMOVING THAT WOULD DISTURB MARSH HABITAT OR TREE REMOVAL OF THE EUCALYPTUS GROVE, PRE-CONSTRUCTION SURVEYS SHOULD BE CONDUCTED TO IDENTIFY AND LOCATE ANY ROKERIES. IF ROKERIES ARE PRESENT ALL EARTH-MOVING WITHIN 250- FEET SHALL STOP DURING THE BREEDING SEASON.

MITIGATION MEASURE 4.9-1 CEASE WORK AND CONSULT WITH QUALIFIED ARCHAEOLOGIST:

SHOULD ANY CULTURAL RESOURCES, SUCH AS STRUCTURAL FEATURES, ANY AMOUNT OF BONE OR SHELL, ARTIFACTS, HUMAN REMAINS, OR ARCHITECTURAL REMAINS, BE ENCOUNTERED DURING GRADING OR EXCAVATION, WORK SHALL BE IMMEDIATELY NOTIFIED. AT THAT TIME, THE CITY OF ROSEVILLE SHALL COORDINATE ANY NECESSARY INVESTIGATION OF THE SITE WITH QUALIFIED ARCHAEOLOGISTS AS NEEDED, TO ASSESS THE RESOURCE (I.E., WHETHER IT IS AN "HISTORICAL RESOURCE" OR A "UNIQUE ARCHAEOLOGICAL RESOURCE") AND PROVIDE PROPER MANAGEMENT RECOMMENDATIONS SHOULD POTENTIAL IMPACTS TO THE RESOURCE BE FOUND TO BE SIGNIFICANT. POSSIBLE MANAGEMENT RECOMMENDATIONS FOR IMPORTANT RESOURCES COULD INCLUDE RESOURCE AVOIDANCE OR, WHERE AVOIDANCE IS INFEASIBLE IN LIGHT OF PROJECT DESIGN OR LAYOUT OR IS UNNECESSARY TO AVOID SIGNIFICANT EFFECTS, DATA RECOVERY EXCAVATIONS. THE CONTRACTOR SHALL IMPLEMENT ANY MEASURES DEEMED FEASIBLE AND NECESSARY BY CITY STAFF, IN CONSULTATION WITH THE ARCHAEOLOGISTS, TO BE TO AVOID OR MINIMIZE SIGNIFICANT EFFECTS TO THE RESOURCE. IN ADDITION, PURSUANT TO SECTION 5097.98 OR THE STATE PUBLIC RESOURCES CODE, AND SECTION 7050.5 OF THE STATE HEALTH AND SAFETY CODE, IN THE EVENT OF THE DISCOVERY OF POTENTIAL HISTORICAL OR PREHISTORICAL RESOURCES, THE IMMEDIATELY NOTIFIED. IF THE REMAINS ARE DETERMINED TO BE NATIVE AMERICAN, GUIDELINES OF THE NATIVE AMERICAN HERITAGE COMMISSION SHALL BE ADHERED TO IN THE TREATMENT AND DISPOSITION OF THE REMAINS.

MITIGATION MEASURE 4.9-2 CEASE WORK AND CONSULT WITH QUALIFIED PALEONTOLOGIST:

SHOULD ANY EVIDENCE OF PALEONTOLOGICAL RESOURCES (E.G. FOSSILS) BE ENCOUNTERED DURING GRADING OR EXCAVATION, WORK SHALL BE SUSPENDED WITHIN 100 FEET OF THE FIND, AND THE CITY OF ROSEVILLE SHALL BE IMMEDIATELY NOTIFIED. AT THAT TIME, THE CITY SHALL COORDINATE ANY NECESSARY INVESTIGATION OF THE SITE WITH QUALIFIED PALEONTOLOGIST TO ASSESS THE RESOURCE AND PROVIDE PROPER MANAGEMENT RECOMMENDATIONS. POSSIBLE MANAGEMENT RECOMMENDATIONS FOR IMPORTANT RESOURCES COULD INCLUDE RESOURCE AVOIDANCE, IF FEASIBLE IN LIGHT OF PROJECT DESIGN OR LAYOUT, OR DATA RECOVERY EXCAVATIONS. THE CONTRACTOR SHALL IMPLEMENT ANY MEASURES DEEMED FEASIBLE AND NECESSARY BY CITY STAFF IN CONSULTATION WITH THE PALEONTOLOGIST FOR THE PROTECTION OF THE PALEONTOLOGICAL RESOURCES.

MITIGATION MEASURE 4.9-3 CONDUCT STUDIES PRIOR TO OFFSITE INFRASTRUCTURE CONSTRUCTION:

PRIOR TO UNDERTAKING CONSTRUCTION OF OFF-SITE INFRASTRUCTURE, THE CITY OF ROSEVILLE SHALL DETERMINE IF RAPTOR OR NOT CULTURAL RESOURCES HAVE BEEN UNDERTAKEN FOR ANY AREAS TO BE DISTURBED DURING CONSTRUCTION. IF SURVEYS WERE CONDUCTED, THE CITY SHALL DOCUMENT THAT ANY IDENTIFIED RESOURCES WERE TREATED AS RECOMMENDED IN THE STUDIES. IF NO STUDIES OR SURVEYS WERE CONDUCTED, THE CITY SHALL ENSURE THAT A QUALIFIED ARCHAEOLOGIST CONDUCTS THE APPROPRIATE LEVEL OF STUDY. IF RESOURCES ARE FOUND, RECOMMENDATIONS, INCLUDING THE POSSIBLE MANAGEMENT RECOMMENDATIONS LISTED IN MM 4.9-1 AND MM 4.9-2, SHALL BE IMPLEMENTED TO ENSURE THAT THE RESOURCES ARE AVOIDED, PROTECTED AND/OR RECORDED, AS DETERMINED TO BE FEASIBLE AND APPROPRIATE BY CITY STAFF.

MM 4.10-1 IDENTIFY POTENTIAL HAZARDOUS MATERIALS (SOIL CONTAMINATION, TANK OR WELL SITES, LEAD BASED PAINT AND/OR ASBESTOS): PRIOR TO SITE DEVELOPMENT IN THE SVSP, RECOMMENDED TESTING AND REMEDIATION, IF NEEDED SHALL OCCUR. SHIELDED AND DESIGNED TO GROUNDWATER WELLS SHALL BE PROPERLY CLOSED.

IF EVIDENCE OF SOIL CONTAMINATION, SEPTIC TANKS, OR OTHER UNDERGROUND STORAGE TANKS ARE ENCOUNTERED IN PREVIOUSLY UNIDENTIFIED LOCATIONS IN THE SVSP AREA, WORK SHALL CEASE UNTIL THE AREA CAN BE TESTED, AND IF NECESSARY REMEDIATED AND/OR PROPERLY REMOVED OR CLOSED. REMEDIATION ACTIVITIES COULD INCLUDE REMOVAL OF CONTAMINATED SOIL, AND/OR ONSITE TREATMENT. AS PART OF THE PROCESS, THE CITY SHALL ENSURE THAT ANY NECESSARY INVESTIGATION AND/OR REMEDIATION ACTIVITIES ARE COORDINATED WITH THE ROSEVILLE FIRE DEPARTMENT, PLACER COUNTY DIVISION OF ENVIRONMENTAL HEALTH, AND IF NEEDED, OTHER APPROPRIATE FEDERAL, STATE AND LOCAL AGENCIES. ONCE A SITE IS REMEDIATED, CONSTRUCTION CAN CONTINUE.

MM 4.12.4-2 DIVERT CONSTRUCTION DEBRIS: THE APPLICANTS SHALL ENSURE A 50% REDUCTION IN THE CONSTRUCTION WASTE RECYCLED FROM DEVELOPMENT WITHIN THE SVSP. IN ADDITION, THE DEVELOPER CONTRACTS WITH CONSTRUCTION CONTRACTORS AND THEIR SUBCONTRACTORS. THE DEVELOPER SHALL REQUIRE THAT CONSTRUCTION WASTE BE REDUCED BY 50%. THE DEVELOPER SHALL FURTHER REQUIRE THAT CONTRACTORS AND SUB-CONTRACTORS SUBMIT RECORDS OF DIVERSION AND DISPOSAL TO THE CITY'S ENVIRONMENTAL UTILITIES DEPARTMENT IN ORDER TO VERIFY COMPLIANCE WITH THIS REQUIREMENT.

MM 4.13-1 IMPLEMENTATION OF CONSTRUCTION ACTIVITY STORMWATER PROTECTION STANDARDS: PRIOR TO THE ISSUANCE OF A CITY GRADING PERMIT AND THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, COMPLIANCE WITH THE STATE'S GENERAL CONSTRUCTION PERMIT, THE CITY OF ROSEVILLE'S CONSTRUCTION STANDARDS, AND THE CITY'S STORMWATER BMP GUIDANCE MANUALS SHALL BE MET. THIS INCLUDES THE CREATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT WILL IDENTIFY THE SITE, THE LOCATION OF SENSITIVE HABITATS OR WATERCOURSES, DRAINAGE AREAS, DISCHARGE LOCATIONS, SOIL DISTURBANCE AREAS, AND THE LOCATION OF AREAS OF POTENTIAL EROSION CONTROL AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ON-GOING MONITORING AND ADJUSTMENTS TO THE SWPPP WILL OCCUR WHEN NEEDED TO ADDRESS CHANGES IN THE FIELD AS CONSTRUCTION ACTIVITIES EVOLVE.

MM 4.14-1 SITE LIGHTING TO MINIMIZE NUISANCE: LIGHT PRODUCING USES, SUCH AS BALL FIELDS, WITHIN THE SVSP AREA SHALL BE LOCATED AND ORIENTED TO MINIMIZE VISUAL IMPACTS ON ADJACENT SENSITIVE AREAS. LIGHTING SHOULD BE SHIELDED AREA AND DESIGNED TO DISTRIBUTE LIGHT IN THE MOST EFFECTIVE AND EFFICIENT MANNER, USING THE MINIMUM AMOUNT OF LIGHT TO ACHIEVE THE NECESSARY ILLUMINATION FOR THE USE, AS DEFINED BY SUGGESTED LIGHTING STANDARDS FOR COMPETITIVE PLAY.

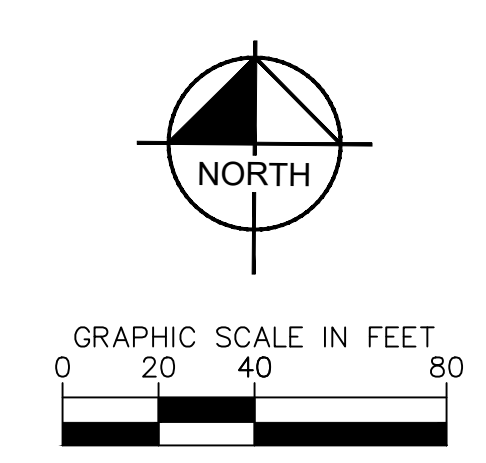
MM 4.14-2 USE LOW GLARE MATERIALS: IN ORDER TO REDUCE THE EFFECTS OF DAYTIME GLARE FROM DEVELOPMENT OF COMMERCIAL OR OFFICE USES WITHIN THE SVSP AREA, BUILDING DEVELOPERS SHOULD MAKE USE, WHEN FEASIBLE, OF LOW-GLARE MATERIALS.

MM 4.14-3 AVOID LIGHT SPILL OVER INTO CURRY CREEK AND OPEN SPACE AREAS: OUTDOOR LIGHTING SHALL BE PLACED, DESIGNED AND DIRECTED SO AS TO AVOID LIGHT SPILLOVER INTO THE HABITAT OF CURRY CREEK AND THE OPEN SPACE PRESERVED AREAS. LIGHTING SHALL BE SHIELDED AND DESIGNED TO DISTRIBUTE LIGHT ON THE LAND USE MAP AS PARCELS KT-1, KT-40 AND KT-41, DF-1, DF-2, DF-40, CG-1, CG-82M JM-21, JM-3, AND JM-4.

ABBREVIATIONS

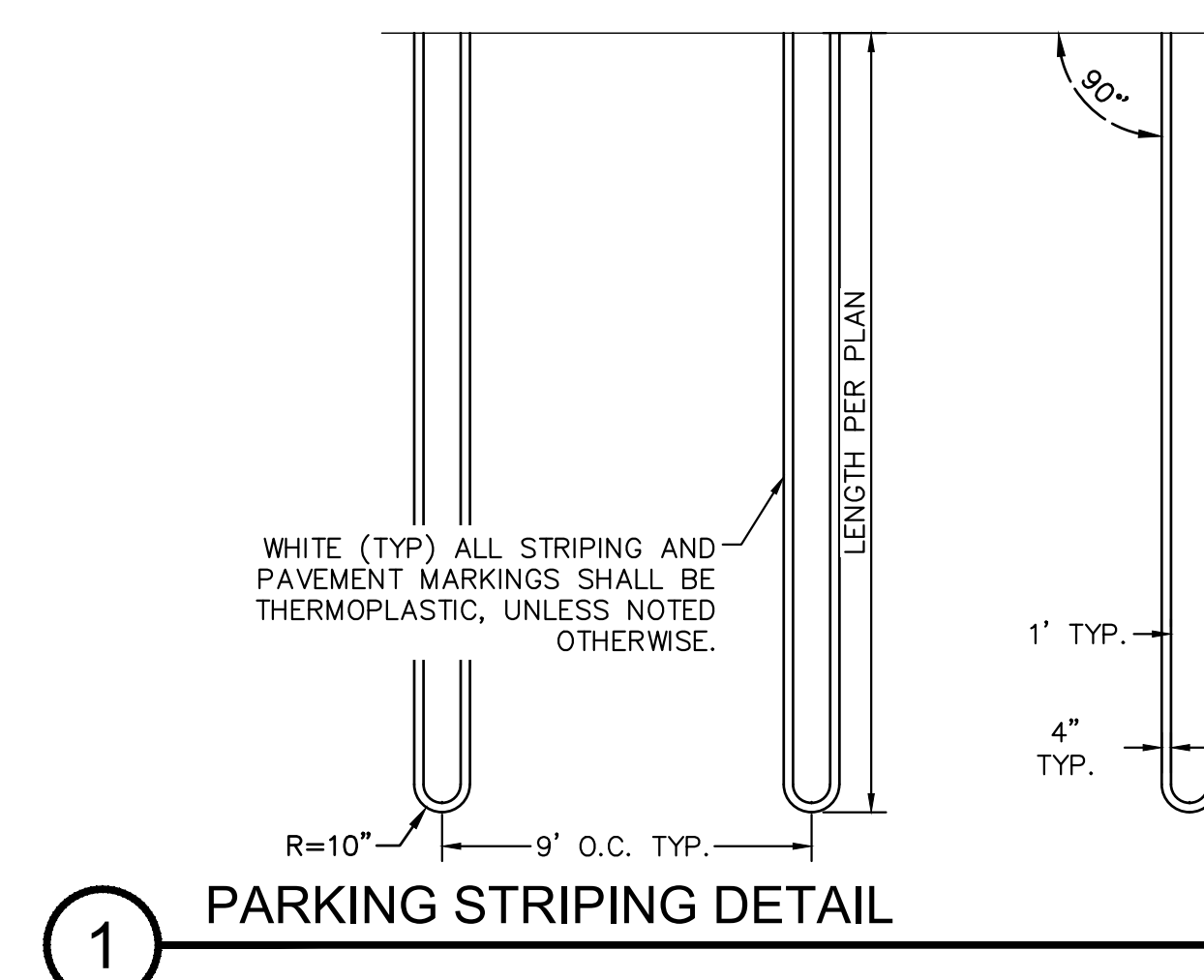
AB	AGGREGATE BASE	ME	MATCH EXISTING
AC	ASPHALT CONCRETE	MIN	MINIMUM
AP	ANGLE POINT	MON	MONUMENT
ARV	AIR RELEASE VALVE	N	NORTH
BC	BACK OF CURB	NAP	NOT A PART
	BEGINNING OF CURVE	OFF	OFFSET
BCR	BEGINNING CURB RETURN	NA	NOT APPLICABLE
BO	BLOW OFF	NTS	NOT TO SCALE
BOW	BACK OF WALK	P	PAVEMENT
BRG	BEARING	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PI	POINT OF INTERSECTION
C	CONCRETE	PL	PROPERTY LINE
CG	CURB AND GUTTER	PRC	POINT OF REVERSE CURVE
GV	GATE VALVE	PROP	PROPOSED
CL, €	CENTER LINE	PUE	PUBLIC UTILITIES EASEMENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DG	DECOMPOSED GRANITE	PVI	

Printed By: Szwarcak, Piotr Sheet: Sdkrha Layout: C2.2 November 20, 2025 11:26:56am K:\BAY_LDEV\197001001 - Roseville Retail Center (LAK)\CAD\Plns\Sheet\C2.0 - PRELIMINARY SITE & PARKING PLAN.dwg
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- ### LEGEND
- PROPERTY LINE
 - EASEMENT
 - CENTERLINE
 - FLOW LINE (VALLEY GUTTER/SWALE)
 - CMU SCREEN WALL
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPING
 - PROPOSED BIORETENTION
 - PROPOSED CONCRETE SIDEWALK
 - ROW PARKING SPACE COUNT
 - R=30'
 - R=50'
 - FIRE TRUCK TURN RADII
 - ADA PATH OF TRAVEL
 - EV CAPABLE (NO EVSE)
 - EV CHARGING STATION (WITH EVSE)
 - STANDARD ADA PARKING
 - VAN ADA PARKING
 - EASEMENT (SEE SHEET C1.0)

- ### GENERAL NOTES
1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. PROPOSED ADA PARKING SPACES ARE DESIGNED WITH A MAXIMUM 1.5% SLOPE IN ALL DIRECTIONS. CONTRACTOR TO ENSURE SLOPE DOES NOT EXCEED 2.0% IN ANY DIRECTION.
 3. PROPOSED SIDEWALK/ADA ROUTES ARE DESIGNED WITH A MAXIMUM 1.5% CROSS SLOPE AND A MAXIMUM 4.5% LONGITUDINAL SLOPE. CONTRACTOR TO ENSURE CROSS SLOPE DOES NOT EXCEED 2.0% AND LONGITUDINAL SLOPE DOES NOT EXCEED 5.0%.
 4. CONTRACTOR SHALL VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN, AND NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES ARE PRESENT.
 5. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
 6. ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 7. PARKING STRIPING PER DETAIL 1 SHOWN HEREON.
 8. ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF ROSEVILLE STANDARDS, DETAILS, AND SPECIFICATIONS.
 9. ALL PARKING SPACES ARE 18' X 9' UNLESS OTHERWISE NOTED. PER CITY OF ROSEVILLE, PARKING SPACES CAN BE REDUCED TO 16' X 9' IF VEHICLES CAN OVERHAND LANDSCAPE AREAS AND IF IT INCREASES THE TOTAL AMOUNT OF LANDSCAPING PROVIDED.
 10. ALL TENANT SPACES WITH A FIRE AREA OF 3,600 SF OR GREATER SHALL BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM IN ACCORDANCE WITH ROSEVILLE FIRE DEPARTMENT STANDARDS.
 11. ALL PROPOSED BUILDINGS ARE UNDER 30' IN HEIGHT; AERIAL APPARATUS ACCESS PER CFC 503.1.1 IS NOT REQUIRED.
 12. OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.

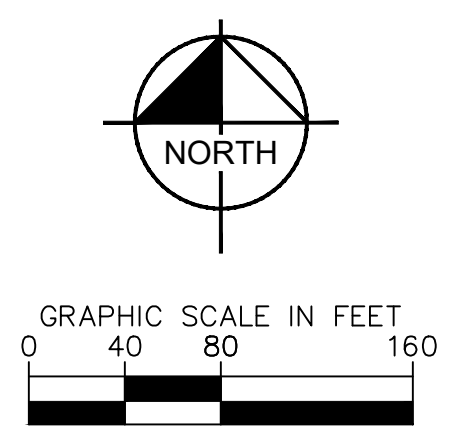
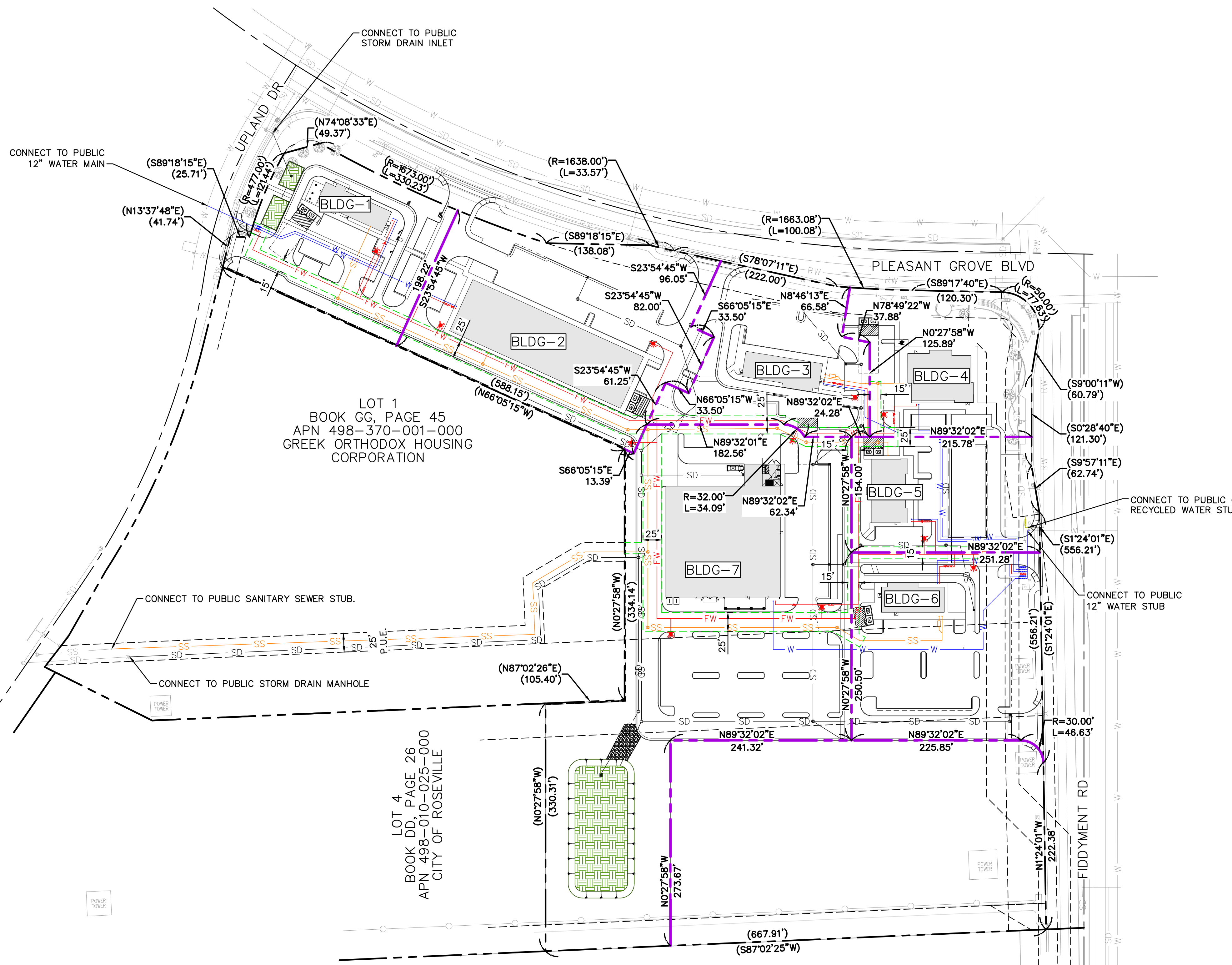


ALL PARKING SPACES SHALL BE DELINEATED AND SEPARATED BY A PAINTED DIVIDER (DOUBLE STRIPE) AS SHOWN ON THE TYPICAL STALL ILLUSTRATION. THE STRIPES SHALL BE A FOUR-INCH SOLID LINE PAINTED WHITE IN COLOR. THE USE OF GRAPHICS OR TEXT IN OR AROUND THE STRIPING IS PROHIBITED. THE STRIPING SHALL BE MAINTAINED IN A CLEAR AND VISIBLE MANNER.

REVISIONS		DATE
No.	Description	

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KHA PROJECT 197901001	DATE 11/20/2025	SCALE AS SHOWN DESIGNED CC DRAWN PSS CHECKED JAK
PRELIMINARY PARKING & SITE PLAN		
SIERRA VIEW SHOPPING CENTER SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD ROSEVILLE, CA 95747		
SHEET NUMBER C2.2 6 OF 21		Know what's below. Call before you dig.

Printed By: Szwarc, Piotr Sheet: Sdk3ha Layout: C4.0 November 20, 2025 11:20:09am K:\BAY_LDEV\197901001 - Roseville Retail Center (LAW)\CAD\PIPs\Sheets\C3.0 - OVERALL UTILITY PLAN.dwg
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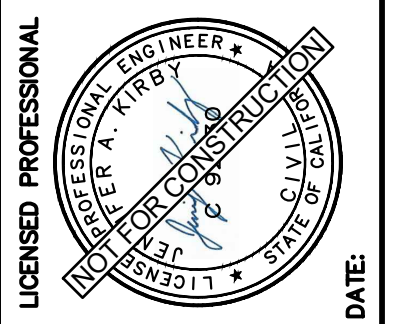
LEGEND

	SURVEYED PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED STORM DRAIN PIPE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN MANHOLE
	EXISTING STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN INLET
	PROPOSED SANITARY SEWER PIPE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED WATER PIPE
	EXISTING WATER PIPE
	PROPOSED FIRE WATER PIPE
	PROPOSED FIRE HYDRANT
	PROPOSED BIORETENTION

- GENERAL NOTES**
- ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF ROSEVILLE STANDARDS, DETAILS, AND SPECIFICATIONS.
 - SEE SHEETS C4.1 AND C4.2 FOR STORM WATER RUNOFF COLLECTION LAYOUT, UNDERGROUND CONVEYANCE LAYOUT, AND CONNECTION TO THE PUBLIC SYSTEM.
 - SEE SHEETS C3.1 AND C3.2 FOR UNDERGROUND UTILITY SIZES AND GRAVITY FLOW DIRECTIONS.
 - OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.

NO.	REVISIONS	DATE

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KHA PROJECT	197901001
DATE	11/20/2025
SCALE AS SHOWN	CC
DESIGNED	CC
DRAWN	PSS
CHECKED	JAK

OVERALL WET UTILITY PLAN

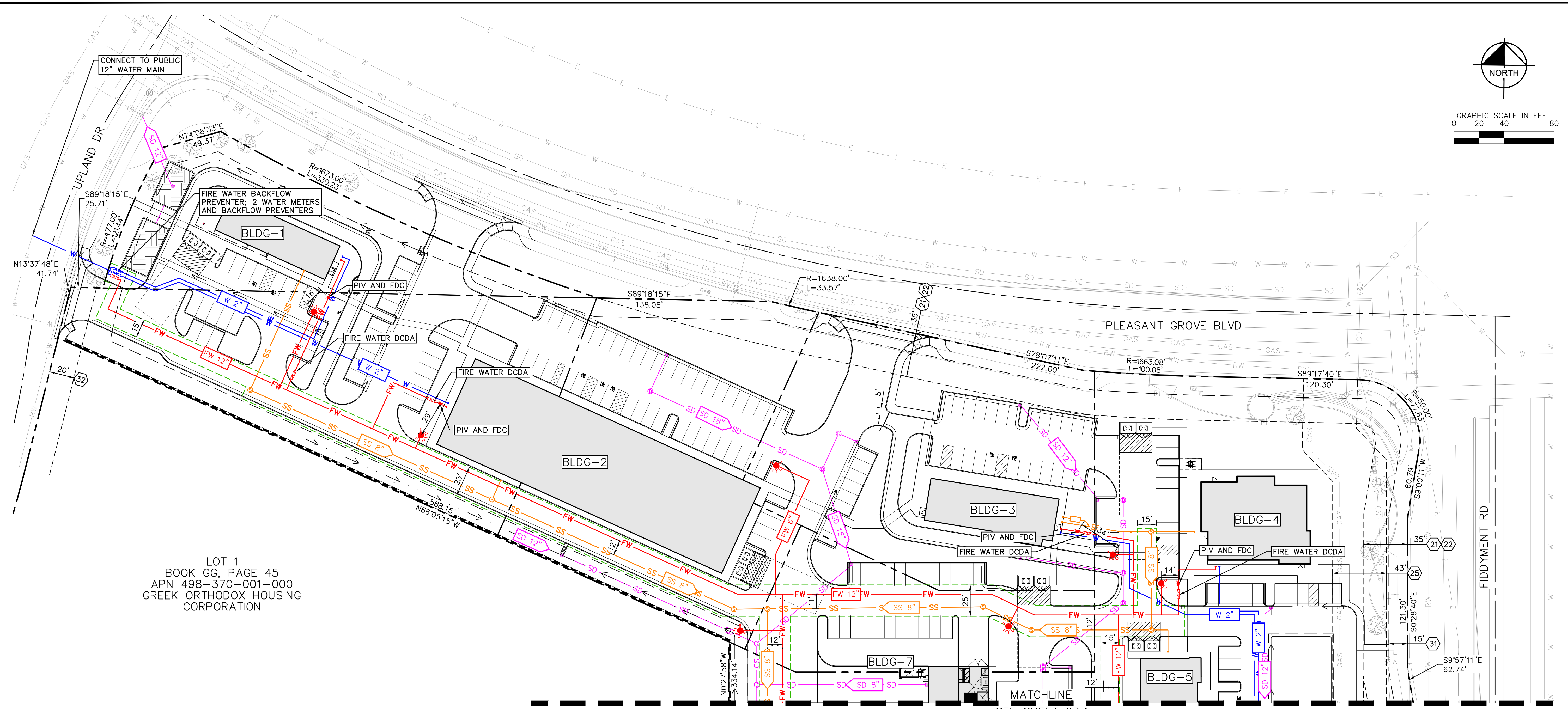
SIERRA VIEW SHOPPING CENTER
 SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747

SHEET NUMBER
C3.0
 7 OF 21



Know what's below.
 Call before you dig.

Plotted By: Szarecki, Piotr Sheet: Sierra View Shopping Center - Roseville Retail Center (AK) C3.1 - PRELIMINARY UTILITY PLAN (AK) C3.1
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LOT 1
 BOOK GG, PAGE 45
 APN 498-370-001-000
 GREEK ORTHODOX HOUSING CORPORATION

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- CENTERLINE
- SD --- PROPOSED STORM DRAIN PIPE
- SD --- EXISTING STORM DRAIN PIPE
- ⊙ --- PROPOSED STORM DRAIN MANHOLE
- ⊙ --- PROPOSED STORM DRAIN INLET
- SS --- PROPOSED SANITARY SEWER PIPE
- SS --- EXISTING SANITARY SEWER PIPE
- ⊙ --- PROPOSED SANITARY SEWER MANHOLE
- ⊙ --- EXISTING SANITARY SEWER MANHOLE
- W --- PROPOSED WATER PIPE
- W --- PROPOSED WATER METER AND BACKFLOW PREVENTER
- W --- EXISTING WATER PIPE
- FW --- PROPOSED FIRE WATER PIPE
- ⊙ --- PROPOSED FIRE HYDRANT
- ⊙ --- PROPOSED FIRE WATER BACKFLOW PREVENTER/DCDA
- ⊙ --- EXISTING FIRE HYDRANT

GENERAL NOTES

1. INFORMATION SHOWN ON THIS PLAN IS PER A TOPOGRAPHIC SURVEY BY AZCA ENGINEERING, LLC. DATED 05/21/2025. KIMLEY-HORN BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN HEREON.
2. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON PLANS.
3. CONTRACTOR TO PROTECT-IN-PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
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5. CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND PROTECT-IN-PLACE UNLESS OTHERWISE NOTED ON THE PLANS.
6. ALL PROPOSED WATER LINES ARE ASSUMED TO BE 2".
7. PROPOSED FIRE WATER MAIN LINES ARE ASSUMED TO BE 10", BUILDING AND HYDRANT SERVICE LINES ARE ASSUMED TO BE 6".
8. PROPOSED SANITARY SEWER MAIN LINES ARE ASSUMED TO BE 8", SERVICE LINES ARE ASSUMED TO BE 6".
9. PROPOSED DOMESTIC WATER SERVICE LINES ARE ASSUMED TO BE 2".
10. SEE SHEETS C4.1 AND C4.2 FOR PROPOSED STORM DRAIN INFORMATION.
11. SEE SHEET C3.0 FOR PROPOSED PROPERTY LINES AND PROPOSED EASEMENTS IN RELATION TO PROPOSED UTILITY INFRASTRUCTURE.
12. OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.

No.	REVISIONS	DATE

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 PHONE: 925-398-8840
 WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 45113
 PETER A. KREB

KHA PROJECT	DATE	SCALE	DESIGNED	DRAWN	CHECKED	JAK
197901001	11/20/2025	AS SHOWN	CC	PSS	JAK	JAK

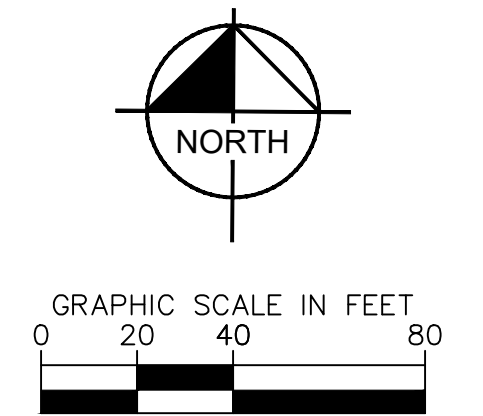
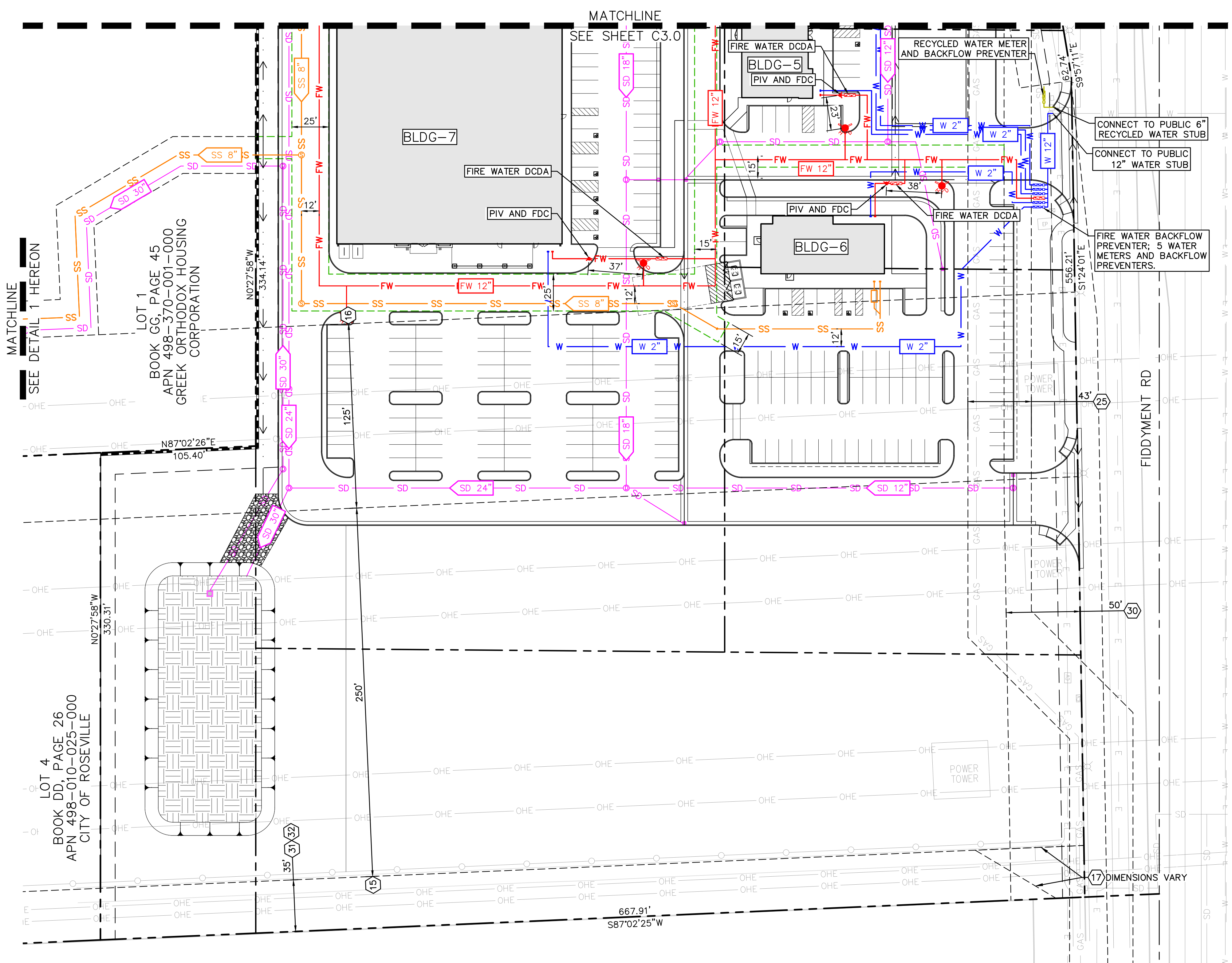
**PRELIMINARY WET
 UTILITY PLAN**

SIERRA VIEW SHOPPING CENTER
 SWC OF FIDDYMONT RD & PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747

SHEET NUMBER
C3.1
 OF 21



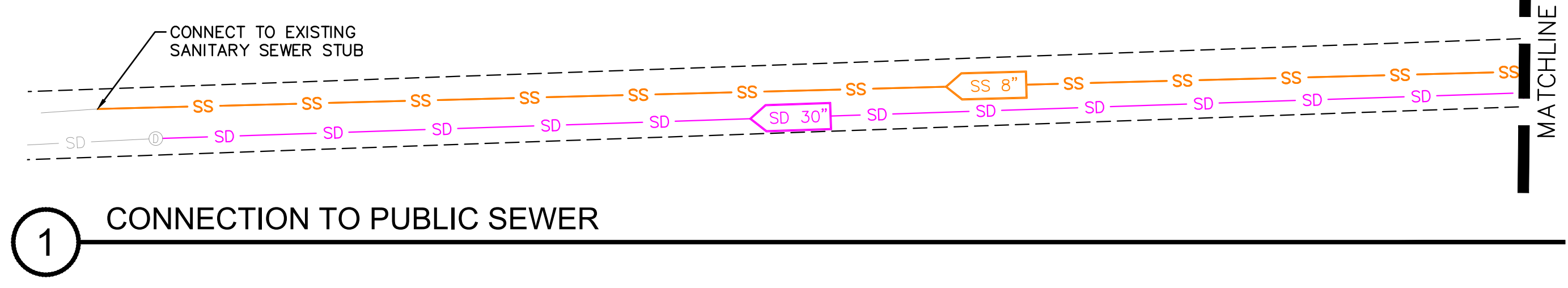
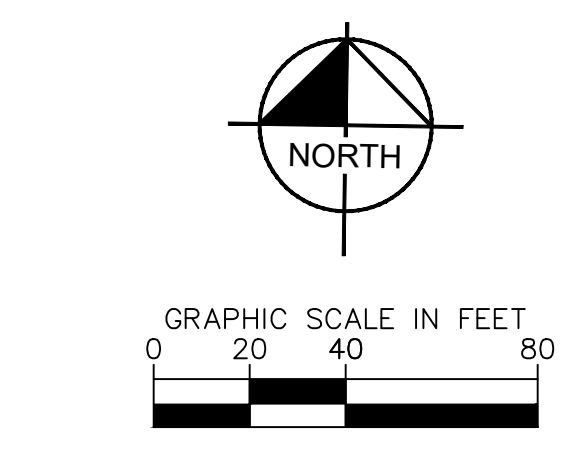
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 Date: 11/20/2025 11:28:25am K:\BAY_LDE\1197901001 - Roseville Retail Center (AKJ)CAD/PIES/Sheets/C3.0 - PRELIMINARY UTILITY PLAN.dwg
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LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	CENTERLINE
	PROPOSED STORM DRAIN PIPE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	PROPOSED SANITARY SEWER PIPE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED WATER PIPE
	PROPOSED WATER METER AND BACKFLOW PREVENTER
	EXISTING WATER PIPE
	PROPOSED FIRE WATER PIPE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE WATER BACKFLOW PREVENTER/DCDA
	EXISTING FIRE HYDRANT

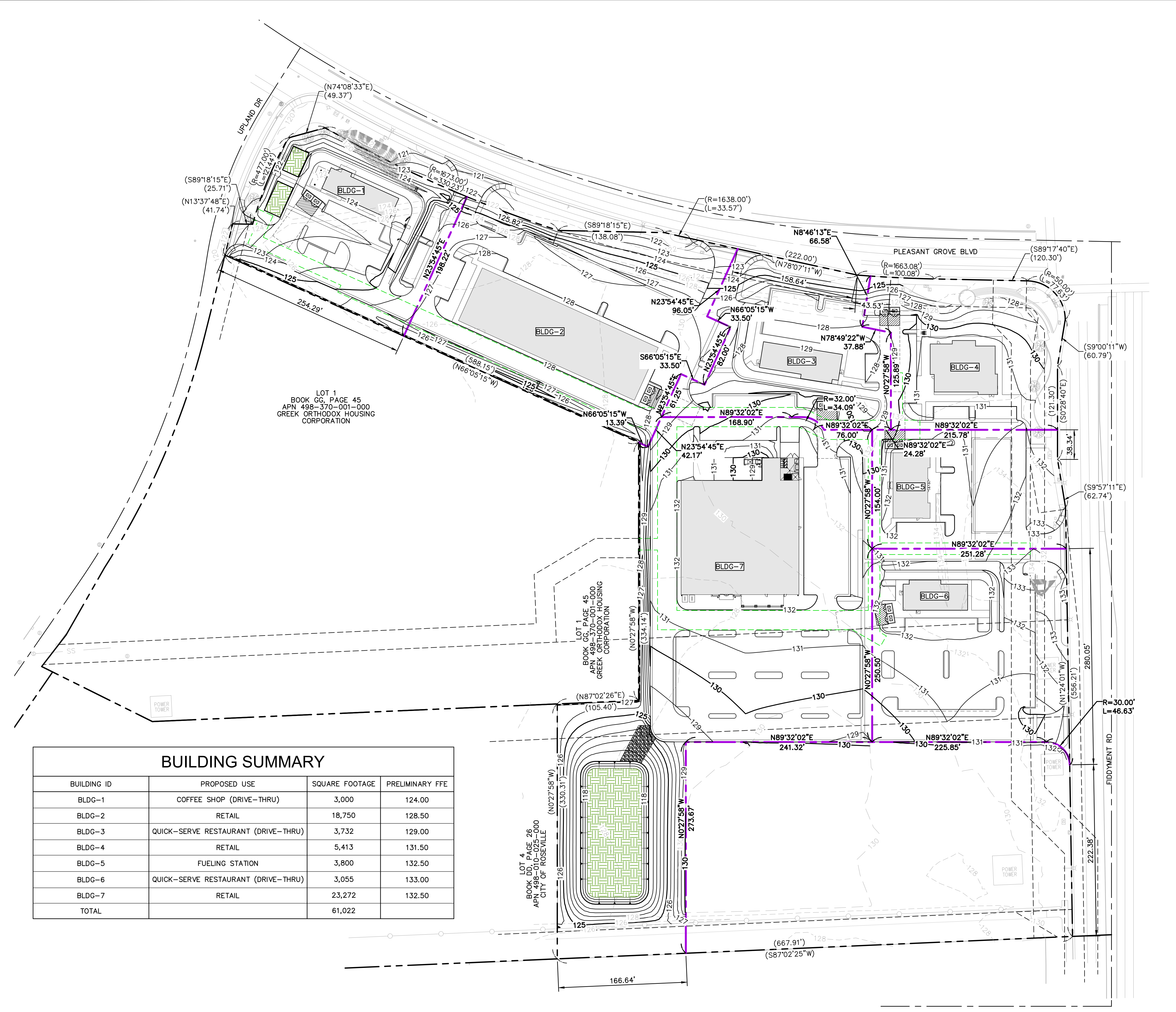
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 - CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON PLANS.
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 - ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND PROTECT-IN-PLACE UNLESS OTHERWISE NOTED ON THE PLANS.
 - ALL PROPOSED WATER LINES ARE ASSUMED TO BE 2".
 - PROPOSED FIRE WATER MAIN LINES ARE ASSUMED TO BE 12", BUILDING AND HYDRANT SERVICE LINES ARE ASSUMED TO BE 6".
 - PROPOSED SANITARY SEWER MAIN LINES ARE ASSUMED TO BE 8", SERVICE LINES ARE ASSUMED TO BE 6".
 - PROPOSED DOMESTIC WATER SERVICE LINES ARE ASSUMED TO BE 2".
 - SEE SHEETS C4.1 AND C4.2 FOR PROPOSED STORM DRAIN INFORMATION.
 - SEE SHEET C3.0 FOR PROPOSED PROPERTY LINES AND PROPOSED EASEMENTS IN RELATION TO PROPOSED UTILITY INFRASTRUCTURE.
 - OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.



KIMLEY-HORN		PROJECT		DATE		SCALE		DESIGNED		DRAWN		CHECKED		DATE	
197901001		SIERRA VIEW SHOPPING CENTER UTILITY PLAN		11/20/2025		AS SHOWN		CC		PSS		JAK		DATE	
KIMLEY-HORN AND ASSOCIATES, INC.		4837 CHABOT DR #300, PLEASANTON, CA 94588		PHONE: 925-398-8840		WWW.KIMLEY-HORN.COM									
PRELIMINARY WET UTILITY PLAN															
SIERRA VIEW SHOPPING CENTER SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD ROSEVILLE, CA 95747															
SHEET NUMBER C3.2 OF 21															



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LEGEND

- SURVEYED PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- CENTERLINE
- PROPOSED BIORETENTION
- BASIN SLOPE
- 222.00'
N78°07'11"W
PROPOSED BEARING AND DISTANCE
- (222.00')
(N78°07'11"W)
SURVEYED BEARING AND DISTANCE
- BASIN SLOPE
- 71
PROPOSED CONTOUR
- 71
EXISTING CONTOUR

- ### GENERAL NOTES
- ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF ROSEVILLE STANDARDS, DETAILS, AND SPECIFICATIONS.
 - SEE SHEETS C3.1 AND C3.2 FOR ELEVATION SPOT SHOTS.
 - SEE SHEETS C3.1 AND C3.2 FOR PROPOSED STORM DRAIN LAYOUT AND INFORMATION.
 - PROPOSED CONTOURS ARE SHOWN AT 1' INTERVALS.
 - EXISTING CONTOURS ARE SHOWN AT 2' INTERVALS.
 - ADA ACCESSIBLE PARKING SPACES ARE DESIGNED WITH A MAXIMUM 1.5% SLOPE IN ALL DIRECTIONS. CONTRACTOR TO ENSURE SLOPE DOES NOT EXCEED 2.0% IN ANY DIRECTION.
 - PROPOSED SIDEWALK/ADA ROUTES ARE DESIGNED WITH A MAXIMUM 1.5% CROSS SLOPE AND A MAXIMUM 4.5% LONGITUDINAL SLOPE. CONTRACTOR TO ENSURE CROSS SLOPE DOES NOT EXCEED 2.0% AND LONGITUDINAL SLOPE DOES NOT EXCEED 5.0%.
 - EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC SURVEY BY AZCA ENGINEERING, INC. DATED 05/21/2025.

ESTIMATED EARTHWORK QUANTITIES

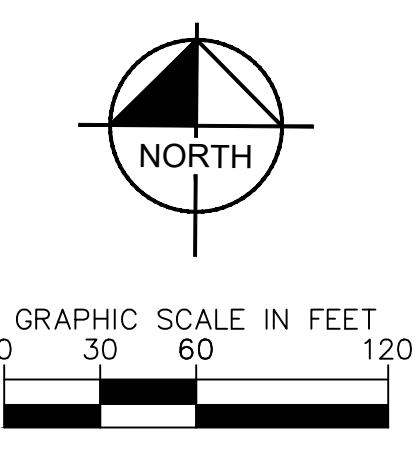
CUT:	24,000± CY
FILL:	13,500± CY
NET:	10,500± CY (FILL)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC SURVEY PROVIDED BY AZCA ENGINEERING, LLC. DATED 03/23/2025. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

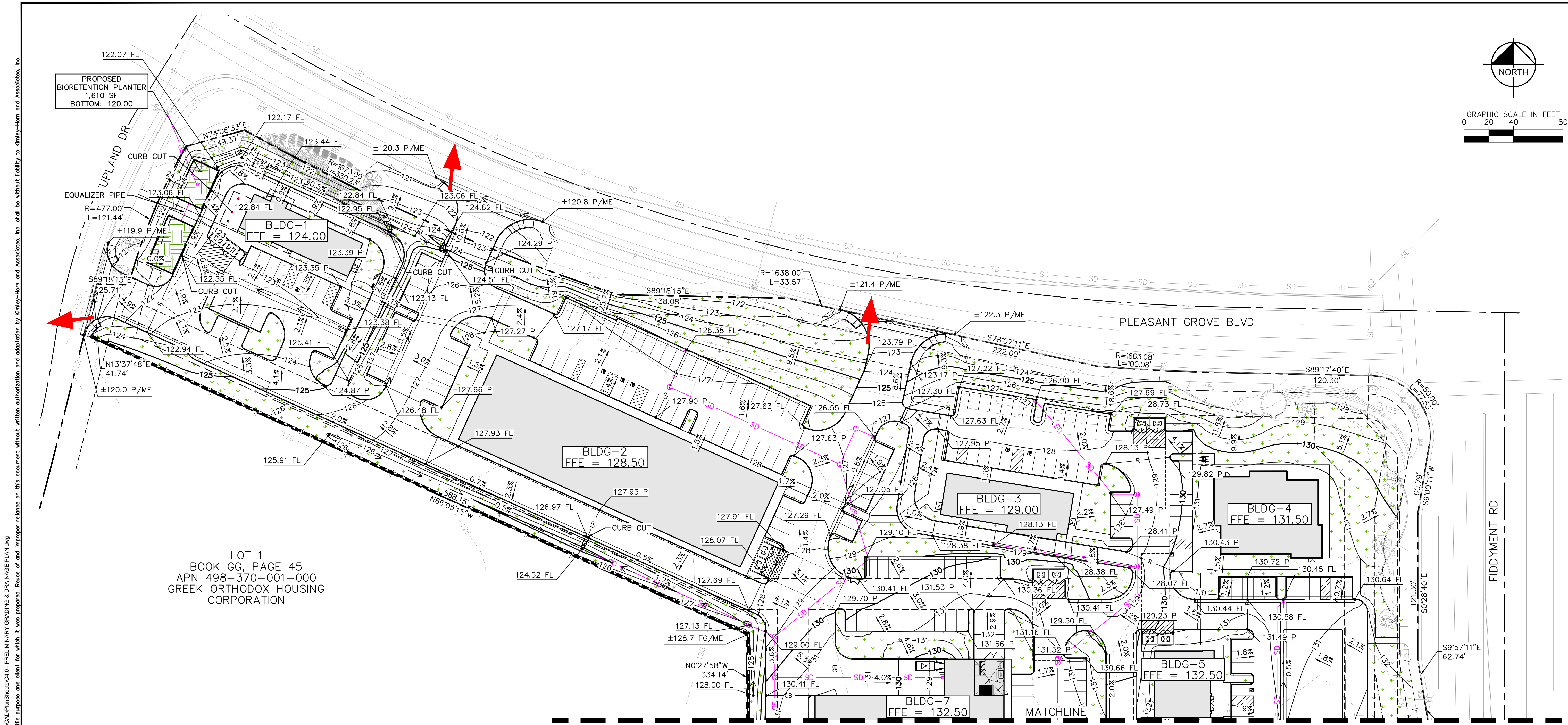
THE EARTHWORK QUANTITIES ABOVE ARE FOR PRELIMINARY PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTON, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES. ALL GRADING ACTIVITIES SHALL CONFORM WITH THE PROJECT GEOTECHNICAL REPORT.

BUILDING SUMMARY

BUILDING ID	PROPOSED USE	SQUARE FOOTAGE	PRELIMINARY FFE
BLDG-1	COFFEE SHOP (DRIVE-THRU)	3,000	124.00
BLDG-2	RETAIL	18,750	128.50
BLDG-3	QUICK-SERVE RESTAURANT (DRIVE-THRU)	3,732	129.00
BLDG-4	RETAIL	5,413	131.50
BLDG-5	FUELING STATION	3,800	132.50
BLDG-6	QUICK-SERVE RESTAURANT (DRIVE-THRU)	3,055	133.00
BLDG-7	RETAIL	23,272	132.50
TOTAL		61,022	

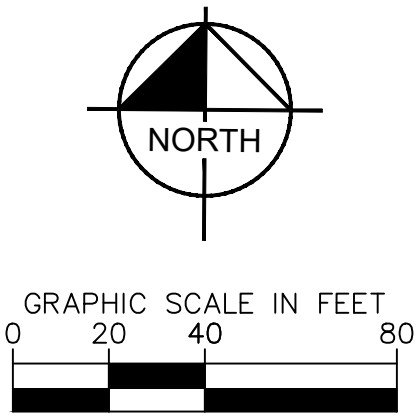


	DATE
	REVISIONS
	No.
<small>©2025 KIMLEY-HORN AND ASSOCIATES, INC. 4837 CHABOT DR #300, PLEASANTON, CA 94588 PHONE: 925-388-1940 WWW.KIMLEY-HORN.COM</small>	
OVERALL GRADING PLAN	
SIERRA VIEW SHOPPING CENTER SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD ROSEVILLE, CA 95747	
SHEET NUMBER C4.0 10 OF 21	



PROPOSED BIORETENTION PLANTER
1,610 SF
BOTTOM: 120.00

LOT 1
BOOK GG, PAGE 45
APN 498-370-001-000
GREEK ORTHODOX HOUSING CORPORATION



LEGEND

	PROPERTY LINE		PROPOSED LANDSCAPING
	EASEMENT		PROPOSED BIORETENTION
	CENTERLINE		OVERLAND RELEASE
	PROPOSED ELEVATION		
	EXISTING ELEVATION		
	PROPOSED SLOPE		
	EXISTING SLOPE		
	PROPOSED CONTOUR		
	EXISTING CONTOUR		
	LIMITS OF GRADING/MATCH EXISTING		
	GRADE BREAK LINE		
	RIDGE LINE		
	LOW POINT LINE		
	FLOW LINE (VALLEY GUTTER/SWALE)		
	PROPOSED STORM DRAIN PIPE		
	EXISTING STORM DRAIN PIPE		
	PROPOSED STORM DRAIN MANHOLE		
	EXISTING STORM DRAIN MANHOLE		
	PROPOSED STORM DRAIN INLET		
	EXISTING STORM DRAIN INLET		

- ### GRADING NOTES
- ALL SPOT ELEVATIONS REFLECT TOP OF PAVEMENT UNLESS OTHERWISE INDICATED. ADD 0.5" TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS AND CURB AND GUTTER.
 - CONTRACTOR SHALL VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN, AND NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES ARE PRESENT.
 - ALL SPOT ELEVATIONS ARE MATCH EXISTING (ME), FINISHED GRADE PAVEMENT (P), FINISHED FLOOR (FF), OR SIDEWALK (SW) UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
 - ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND PROTECT IN PLACE UNLESS NOTED ON THE PLANS.
 - ADA ACCESSIBLE PARKING SPACES ARE DESIGNED WITH A MAXIMUM 1.5% SLOPE IN ALL DIRECTIONS. CONTRACTOR TO ENSURE SLOPE DOES NOT EXCEED 2.0% IN ANY DIRECTION.
 - PROPOSED SIDEWALK/ADA ROUTES ARE DESIGNED WITH A MAXIMUM 1.5% CROSS SLOPE AND A MAXIMUM 4.5% LONGITUDINAL SLOPE. CONTRACTOR TO ENSURE CROSS SLOPE DOES NOT EXCEED 2.0% AND LONGITUDINAL SLOPE DOES NOT EXCEED 5.0%.
 - EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC SURVEY BY AZCA ENGINEERING, INC. DATED 05/21/2025.
 - EXISTING CONTOURS ARE SHOWN AT 2' INTERVALS AND PROPOSED CONTOURS ARE SHOWN AT 1' INTERVALS.
 - OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.

BUILDING SUMMARY

BUILDING ID	PROPOSED USE	SQUARE FOOTAGE	FINISHED FLOOR
BLDG-1	COFFEE SHOP (DRIVE-THRU)	3,000	124.00
BLDG-2	RETAIL	18,750	128.50
BLDG-3	QUICK-SERVE RESTAURANT (DRIVE-THRU)	3,732	129.00
BLDG-4	RETAIL	5,413	131.50
BLDG-5	FUELING STATION	3,800	132.50
BLDG-6	QUICK-SERVE RESTAURANT (DRIVE-THRU)	3,055	133.00
BLDG-7	RETAIL	23,272	132.50

ESTIMATED EARTHWORK QUANTITIES

CUT: 24,000± CY
 FILL: 13,500± CY
 NET: 10,500± CY (CUT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC SURVEY PROVIDED BY AZCA ENGINEERING, LLC. DATED 03/23/2025. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

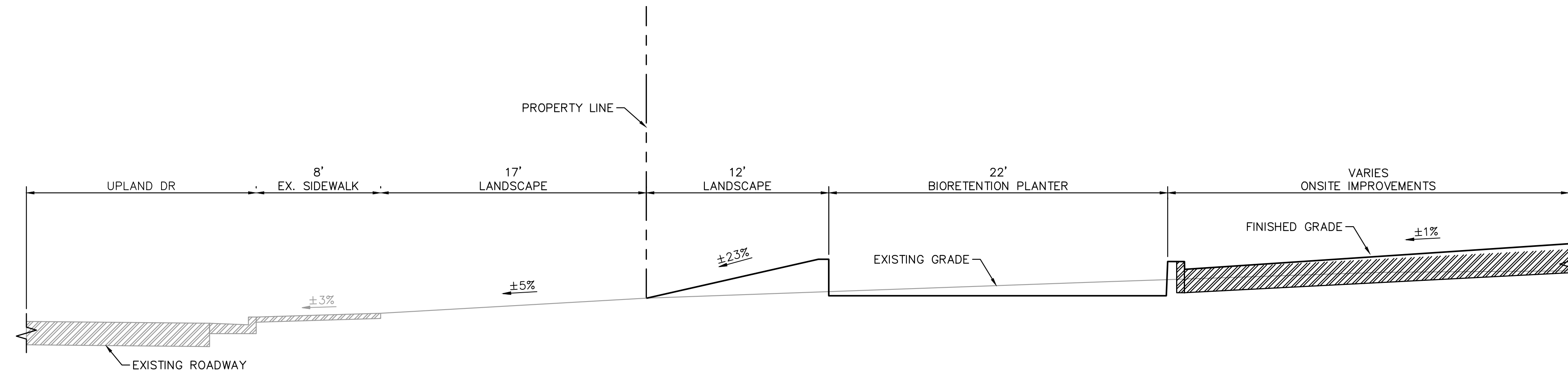
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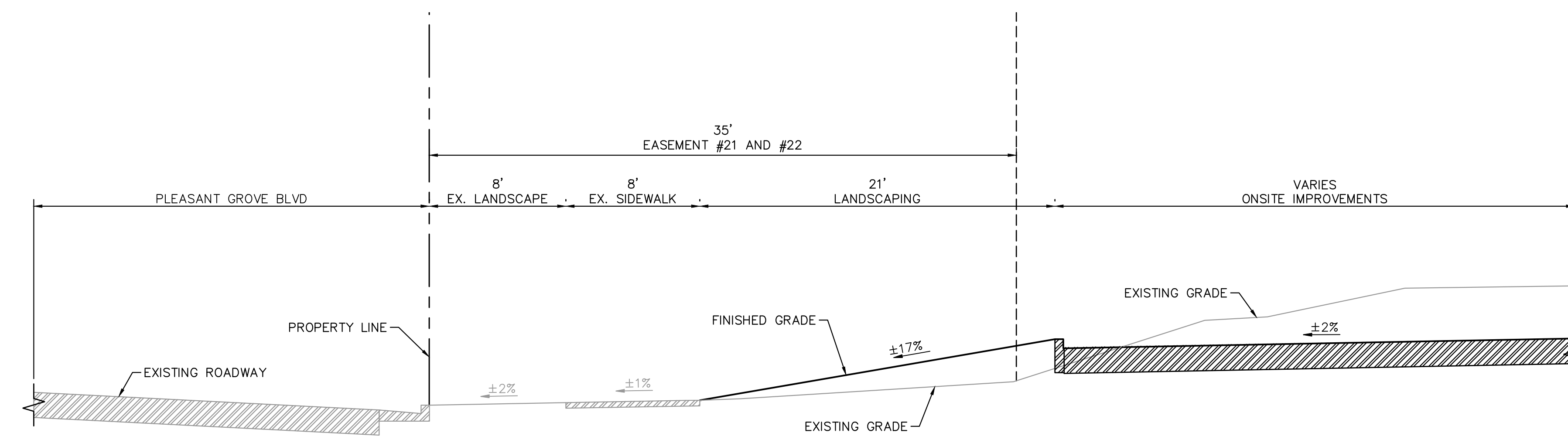
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KHA PROJECT 197901001	DATE 11/20/2025
SCALE SCALE AS SHOWN	DESIGNED CC
DRAWN PSS	CHECKED JAK
<h2>PRELIMINARY GRADING & DRAINAGE PLAN</h2>	
<h3>SIERRA VIEW SHOPPING CENTER</h3>	
SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD ROSEVILLE, CA 95747	
SHEET NUMBER C4.1 11 OF 21	

Plotted By: Szearecki, Ploer, Sheet Set: KHA_Layout_C4.0 November 20, 2025 11:28:45am K:\BAY_LDE\197901001 - Roseville Retail Center (AKJ)\CADD\Plans\Sheets\C4.0 - PRELIMINARY GRADING & DRAINAGE PLAN.dwg
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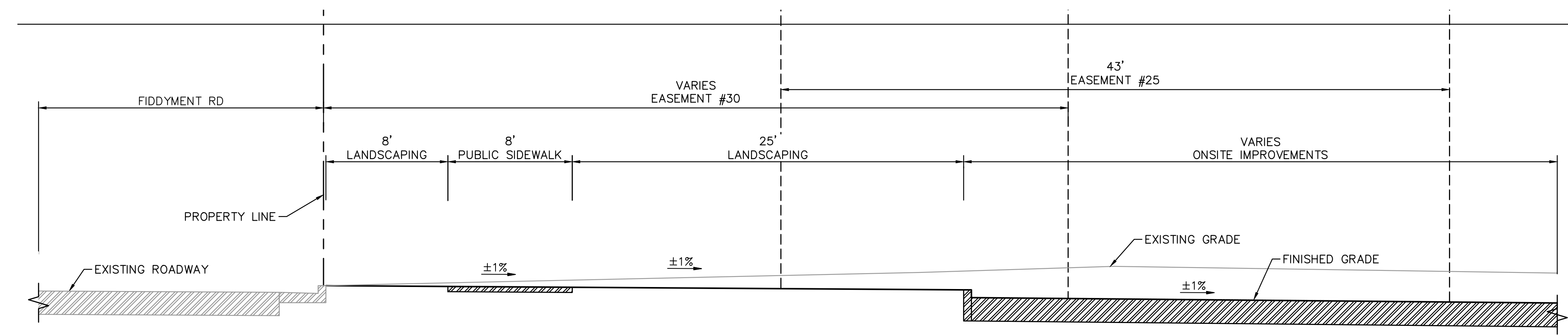
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SECTION A



SECTION B

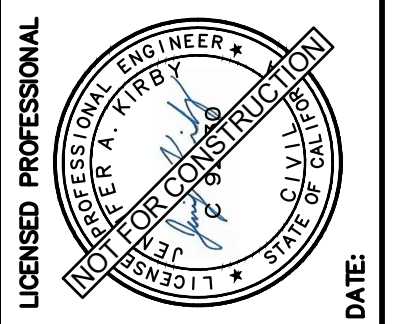


SECTION C



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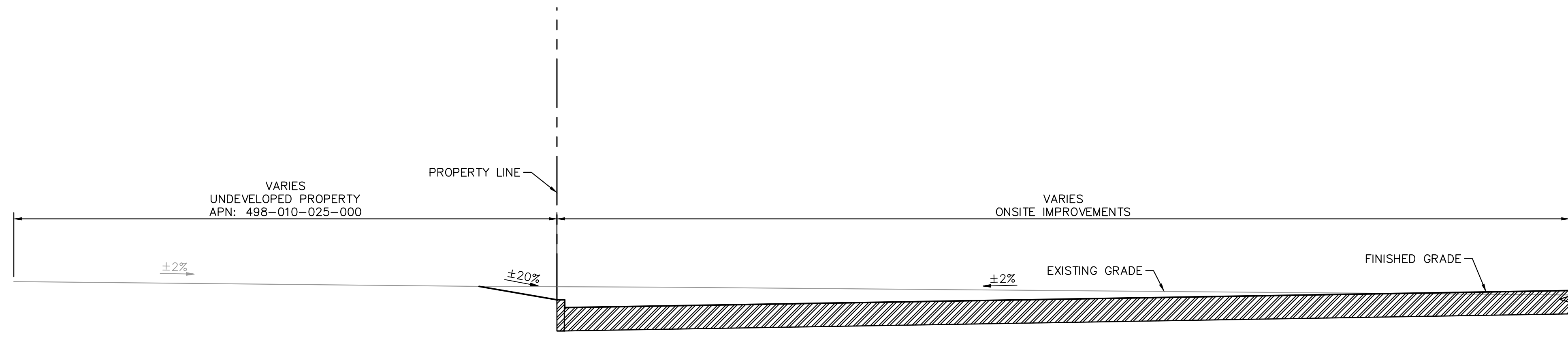
KHA PROJECT	197901001
DATE	11/20/2025
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DESIGNED	CC
DRAWN	PSS
CHECKED	JAK
DATE:	

**PRELIMINARY
PROPERTY CROSS
SECTIONS**

**SIERRA VIEW
SHOPPING CENTER**
 SWC OF FIDDYMENT RD &
 PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747

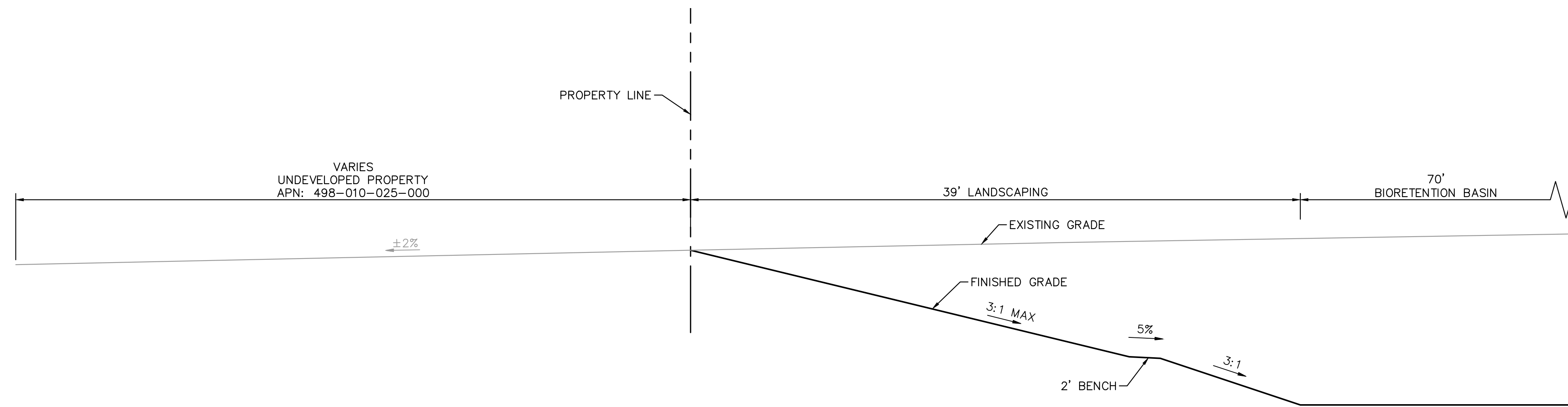
SHEET NUMBER
C4.3
10 of 21

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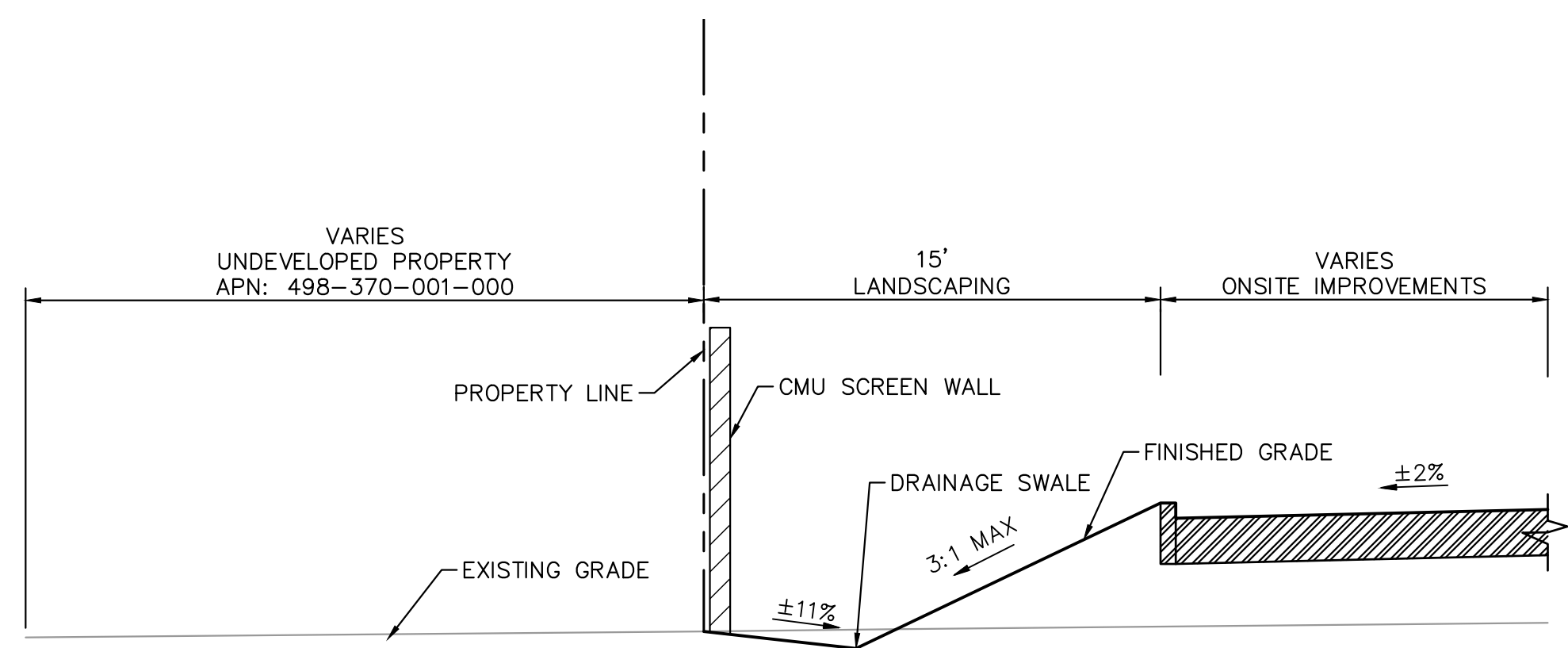


NOTE: A RIGHT OF ENTRY IS REQUIRED.

SECTION D

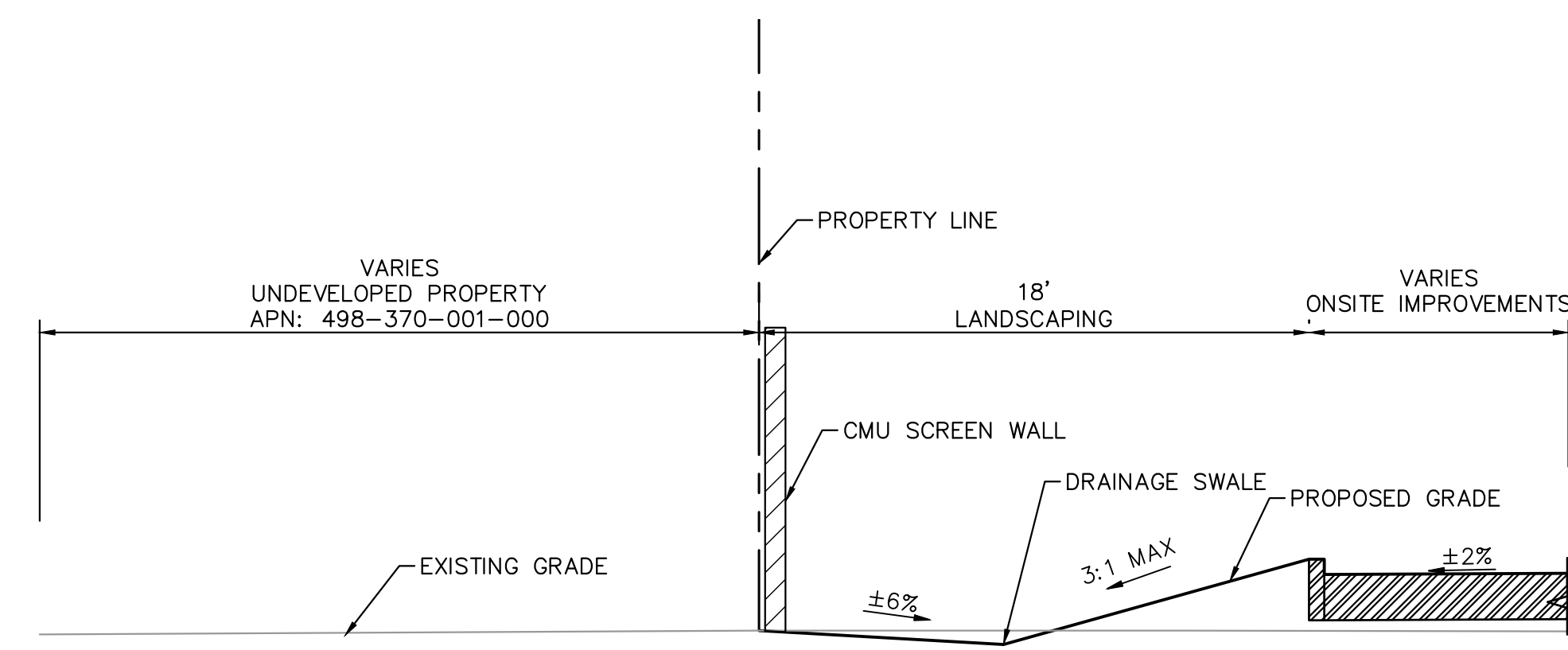


SECTION E



NOTE: A RIGHT OF ENTRY IS REQUIRED.

SECTION F

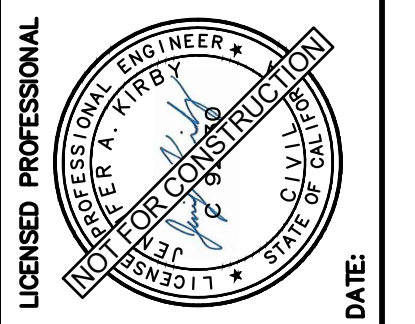


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SECTION G

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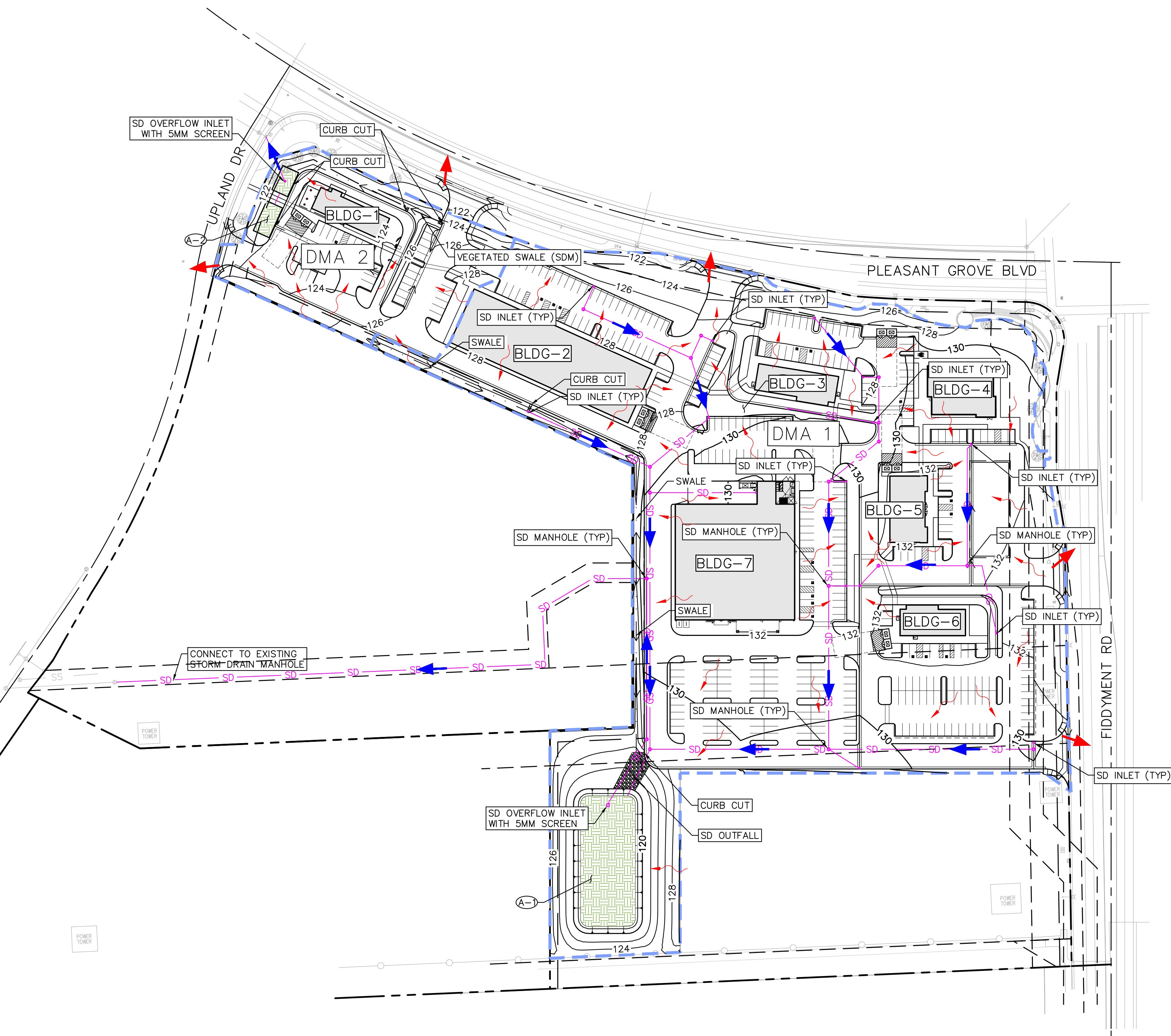
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DATE	11/20/2025
SCALE AS SHOWN	CC
DESIGNED	CC
DRAWN	PSS
CHECKED	JAK

**PRELIMINARY
PROPERTY CROSS
SECTIONS**

**SIERRA VIEW
SHOPPING CENTER**
 SWC OF FIDDYMENT RD &
 PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747



Printed By: Szwedek, Piotr Sheet: Sskrha Layout: C5.0 November 20, 2025 11:30:18am K:\BAY_LDEV\197901001 - Roseville Retail Center (LAK)\CAD\PlanSheets\C5.0 - PRELIMINARY STORMWATER CONTROL PLAN.dwg
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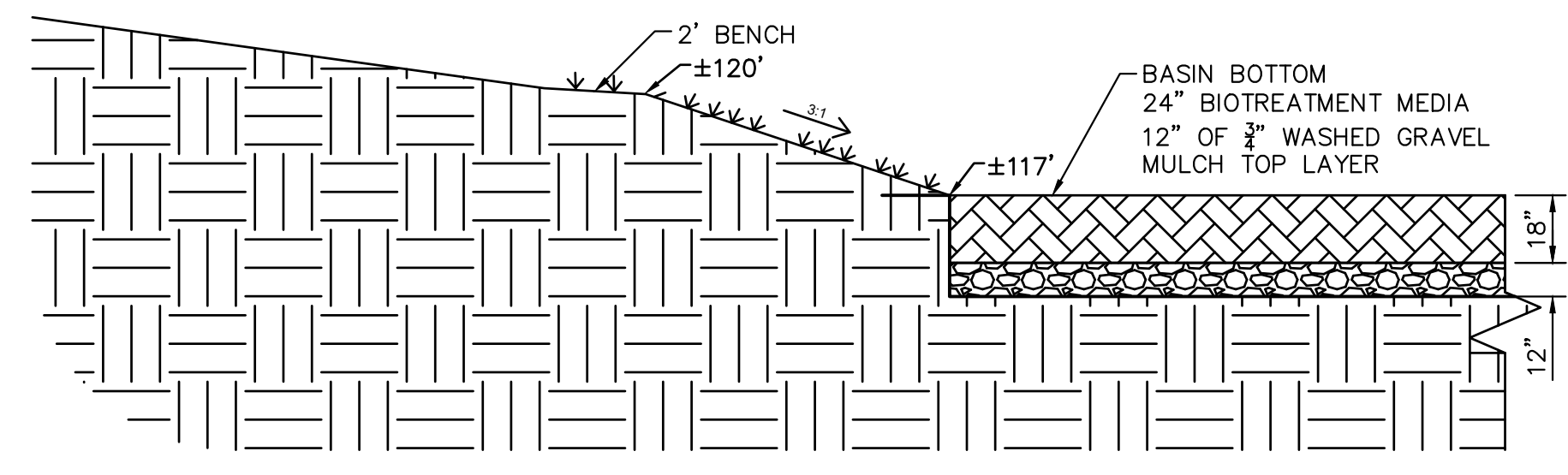
LEGEND

- PROPERTY LINE
- EASEMENT
- CENTERLINE
- - - DMA BOUNDARY
- SD PROPOSED STORM DRAIN PIPE
- SD EXISTING STORM DRAIN PIPE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED DIRECTION OF FLOW
- ← PIPE FLOW DIRECTION
- 71 PROPOSED CONTOUR
- 70 EXISTING CONTOUR
- PROPOSED FLOW LINE/SWALE
- ← OVERLAND RELEASE
- ⊙ BMP ID
- ▨ PROPOSED BIORETENTION

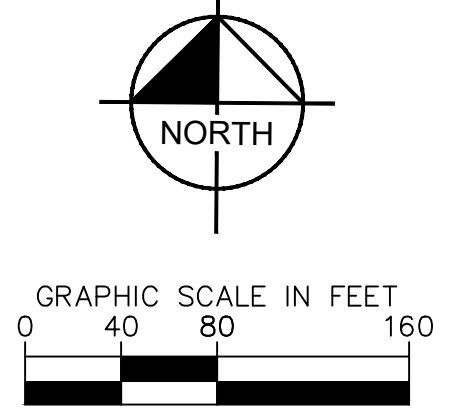
STORM WATER QUALITY NOTES

1. SEE STORM WATER QUALITY NARRATIVE DATED 10/31/2025 INCLUDED WITH THIS SUBMITTAL FOR ADDITIONAL INFORMATION.
2. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST EDITION OF CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS.
3. PROJECT SHALL COMPLY WITH THE STORM WATER QUALITY REQUIREMENTS PRESENTED IN THE WEST PLACER STORM WATER QUALITY DESIGN MANUAL.
4. FULL TRASH CAPTURE IS PROPOSED AT EACH STORM DRAIN INLET AND OVERFLOW.
5. THE PROJECT PROPOSES TREE PLANTING AND PRESERVATION AS A LID SITE DESIGN MEASURE. REFER TO FORM 3-4 AND LANDSCAPE PLANS FOR MORE INFORMATION.
6. REFER TO FORM 3-4 FOR VEGETATED SWALE VOLUME REDUCTION AND EFFECTIVE TREATED IMPERVIOUS AREA.
7. OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS AND AGREEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE, UTILITIES, AND CONSTRUCTION PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.

DMA #	BMP ID	TOTAL DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BMP PROVIDED	BMP AREA (SF)	BMP VOLUME REQUIRED (CF)	BMP VOLUME PROVIDED (CF)
1	A-1	436,347	304,744	131,603	FLOW-THRU BASIN	11,604	15,591	15,607
2	A-2	54,603	35,837	18,766	FLOW-THRU PLANTER	1,610	1,404	2,165

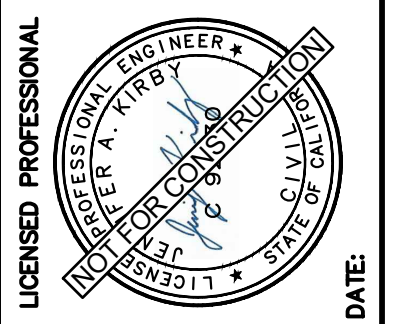


TYPICAL BASIN CROSS SECTION DETAIL



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DESIGNED	CC
DRAWN	PSS
CHECKED	JAK

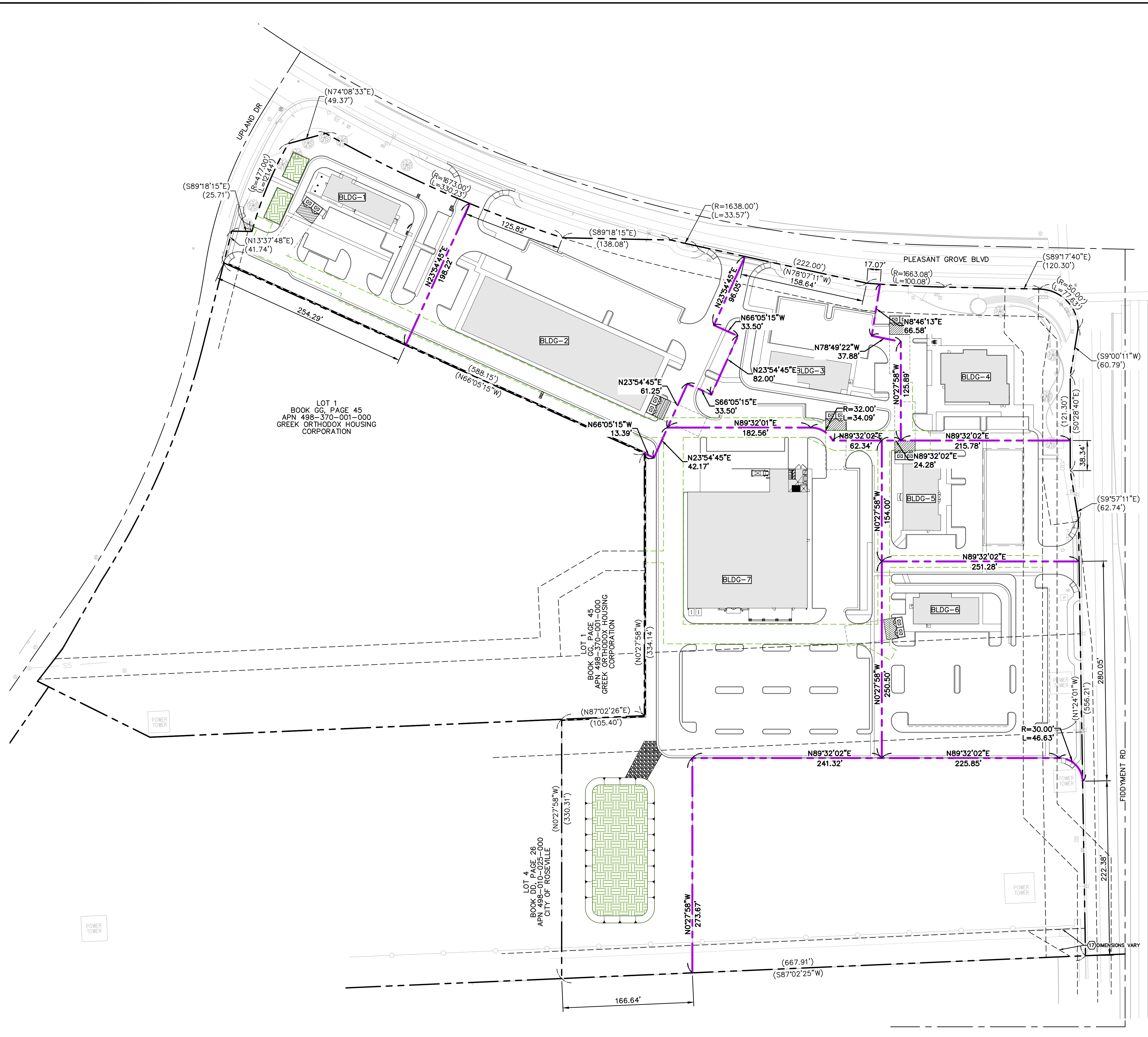
PRELIMINARY STORMWATER CONTROL PLAN

SIERRA VIEW SHOPPING CENTER
 SWC OF FIDDYMONT RD & PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747



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LEGEND

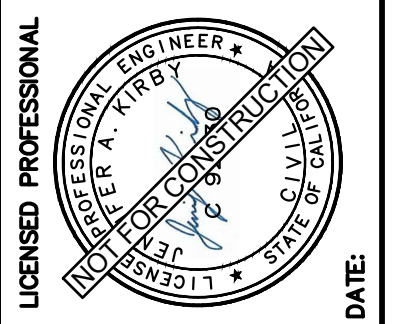
- SURVEYED PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT TO REMAIN
- PROPOSED EASEMENT
- CENTERLINE
- PROPOSED BIORETENTION
- BASIN SLOPE
- PROPOSED BEARING AND DISTANCE
- SURVEYED BEARING AND DISTANCE

GENERAL NOTES

1. THIS EXHIBIT IS INCLUDED FOR REFERENCE ONLY. REFER TO THE TENTATIVE SUBDIVISION MAP PLAN DATED 11/21/2025 INCLUDED WITH THIS PLANNING APPLICATION FOR PROPOSED SUBDIVISION LOT LINES AND ADDITIONAL INFORMATION.

No.	REVISIONS	DATE

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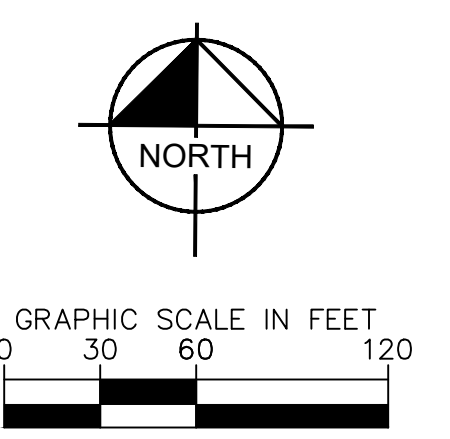


KHA PROJECT	197901001
DATE	11/20/2025
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DESIGNED	CC
DRAWN	PSS
CHECKED	JAK

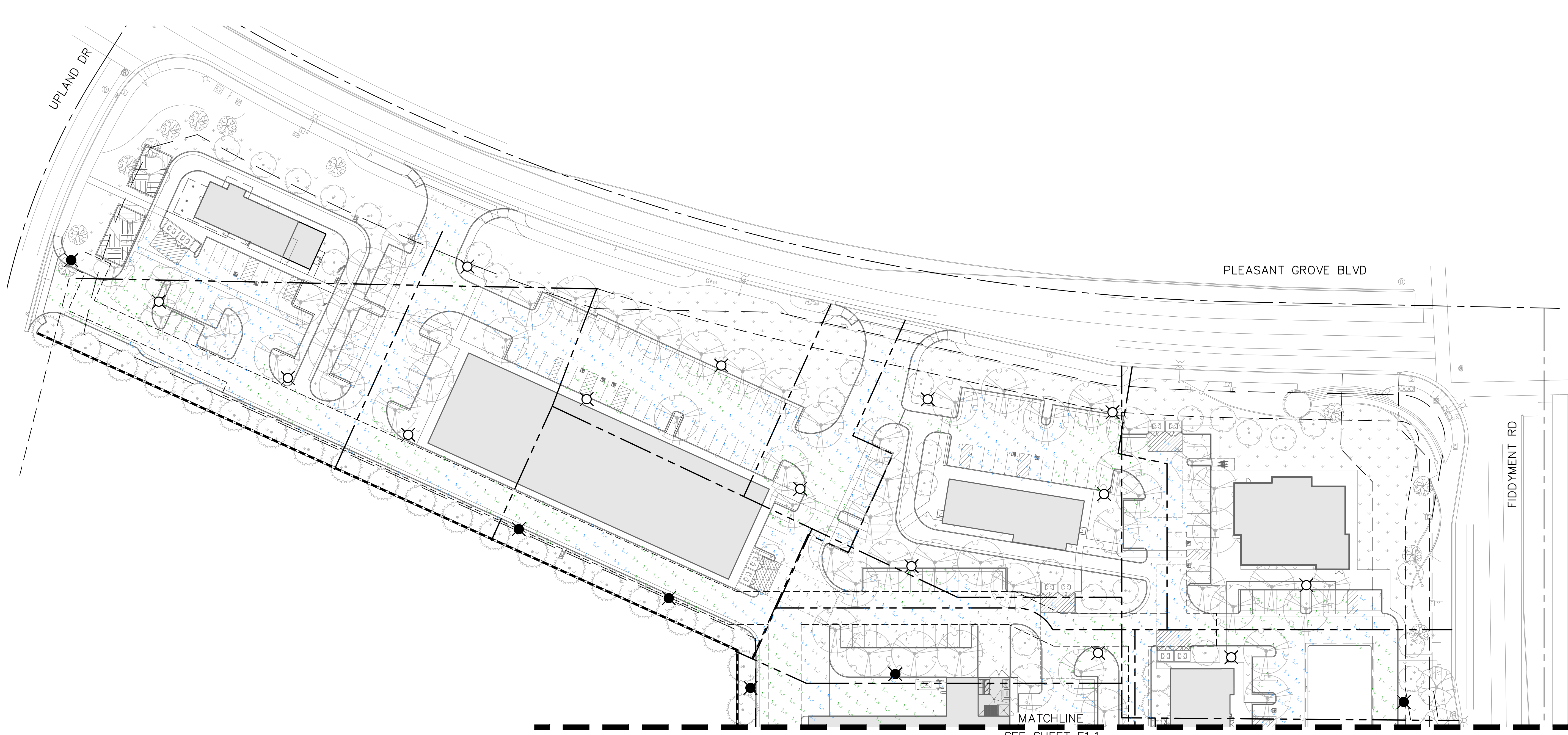
**TENTATIVE
 SUBDIVISION MAP LOT
 LINE EXHIBIT**

**SIERRA VIEW
 SHOPPING CENTER**
 SWC OF FIDDYMENT RD &
 PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747

SHEET NUMBER
C6.0
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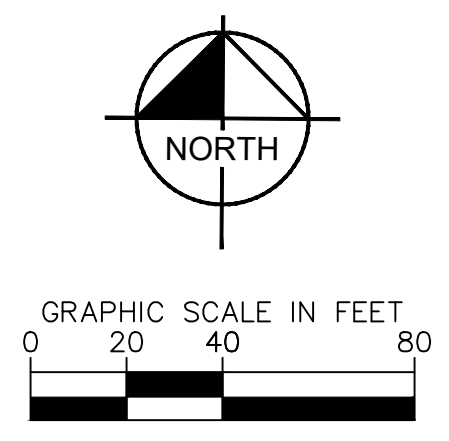


LEGEND

- PROPERTY LINE
- - - EASEMENT
- LUMINAIRE (TYPE 3 DISTRIBUTION)
- LUMINAIRE (TYPE 5 DISTRIBUTION)

VALUE RANGES KEY

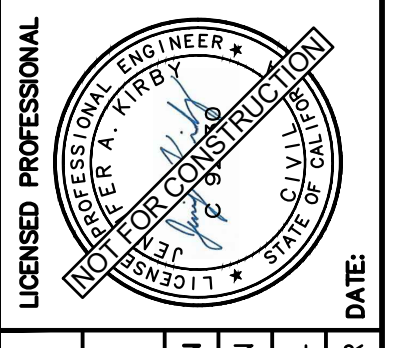
- 0.0 - 0.19
- 0.20 - 0.39
- 0.40 - 0.79
- 0.80 - 100



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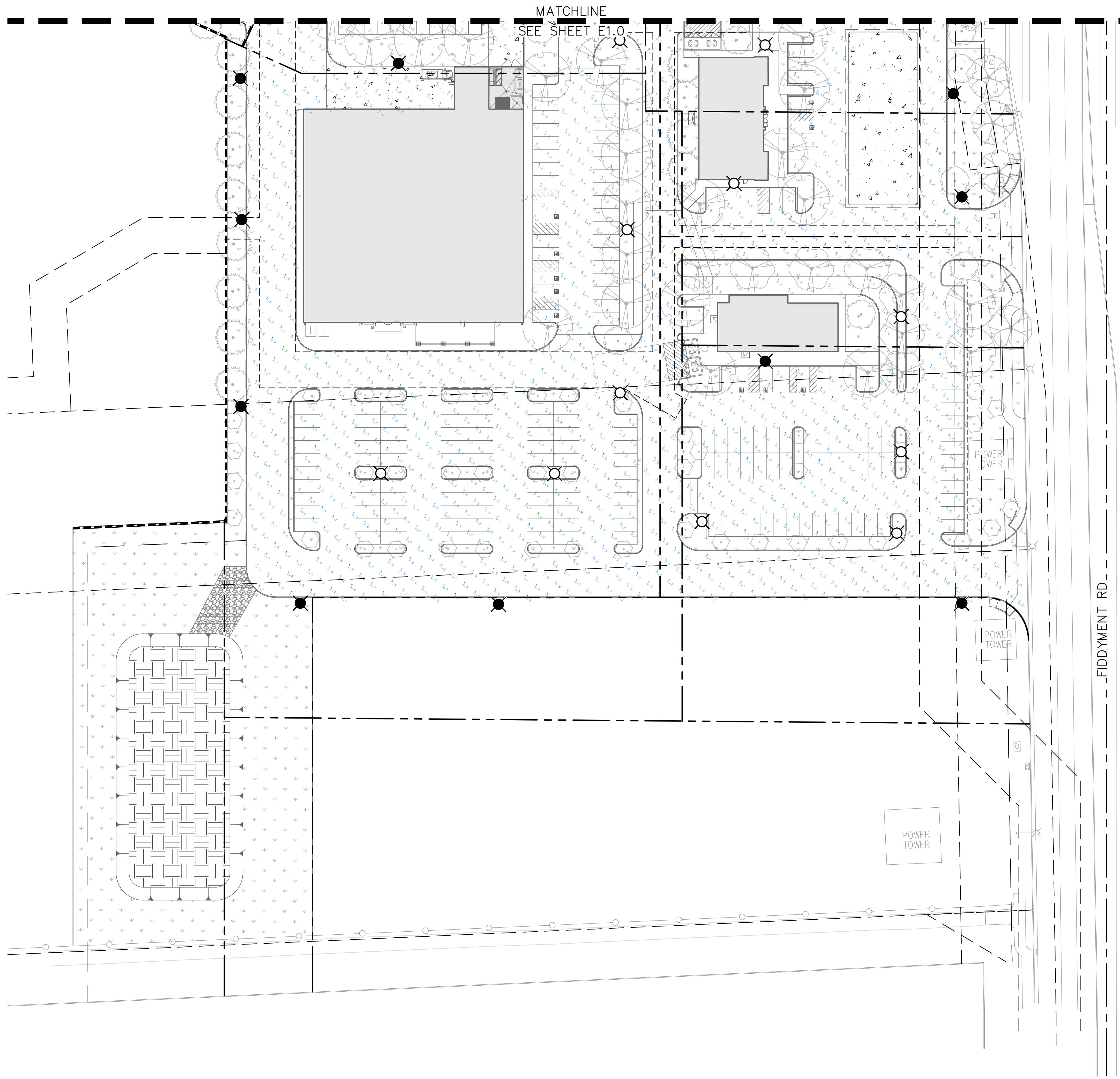
KHA PROJECT	DATE	SCALE AS SHOWN	DESIGNED	JTN	AML	CHECKED	SAR	DATE:
197901001	11/20/2025	AS SHOWN	JTN	AML				

PHOTOMETRIC PLAN

SIERRA VIEW SHOPPING CENTER
 SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747

SHEET NUMBER
E1.0
 17 OF 21

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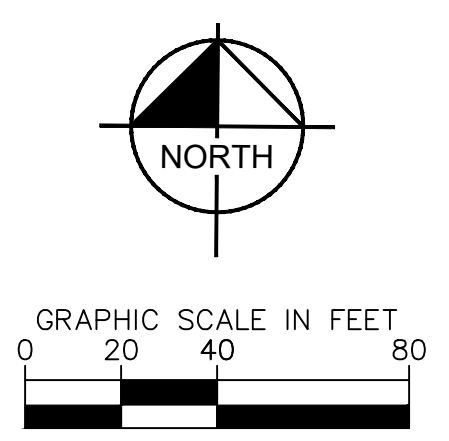


LEGEND

- PROPERTY LINE
- - - EASEMENT
- LUMINAIRE (TYPE 3 DISTRIBUTION)
- LUMINAIRE (TYPE 5 DISTRIBUTION)

VALUE RANGES KEY

- 0.0 - 0.19
- 0.20 - 0.39
- 0.40 - 0.79
- 0.80 - 100



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KHA PROJECT	197901001
DATE	11/20/2025
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DESIGNED	JTN
DRAWN	AML
CHECKED	SAR
DATE:	

PHOTOMETRIC PLAN

SIERRA VIEW SHOPPING CENTER
 SWC OF FIDDYMENT RD & PLEASANT GROVE BLVD
 ROSEVILLE, CA 95747



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 18 OF 21

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CALCULATION ZONE	RECOMMENDED CRITERIA		PROPOSED CALCULATION			
	MIN LUM**	MAX/MIN*	MAX	AVG	MIN	MAX/MIN
PARKING LOT	0.20	20:1	2.20	0.76	0.20	11.00

NOTE: ALL MINIMUM AND MAXIMUM VALUES ARE MEASURED IN UNITS OF FOOTCANDLES (FC)
* VALUES BELOW MEET THE REQUIREMENT
** VALUES ABOVE MEET THE REQUIREMENT

LEGEND	MODEL	DISTRIBUTION	LUMEN OUTPUT	COLOR TEMPERATURE	MOUNTING HEIGHT	WATTAGE	VOLTAGE	BUG RATING	MAST ARM	QUANTITY
	SLM-LED-09L-SIL-3-40-70CR-IL	TYPE 3	9,743	4000K	25'	62	120-277V	B2-U0-G2	N/A	14
	SLM-LED-09L-SIL-5W-40-70CRI	TYPE 5	9,450	4000K	25'	62	120-277V	B3-U0-G2	N/A	23

Company: _____ Project: _____ Type: _____
Prepared By: _____ Date: _____

Slice Medium (SLM)

Outdoor LED Area Light

OVERVIEW

Lumen Package	9,000 - 95,000
Wattage Range	62 - 426
Efficiency Range (LPW)	114 - 162
Weight (lbs/box)	27 (12.3)

Control Options: IMSBT, ALB, ALS, 7-Prk, PCI

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

Optical System

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also Available in Phospho Converted Amber with Peak Intensity at 800nm.
- 70 or 80/CR1 Minimum.
- Integral louver (L) and Integral half louver (H) options available for enhanced backlight control.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (DIM - 100%) standard.
- Standard Universal Voltage (120-277 VAC) input 50/60 Hz or optional High Voltage (347-480 VAC).
- LED Calculated Life >100K Hours (See Lumen Maintenance chart)
- Total harmonic distortion <20%.
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. SLM lumen package rate to +35°C.
- Power factor > 90.
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.
- Driver is fully encapsulated in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration apps.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 83 drill pattern. (See drawing in poles section)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/resources/terms-conditions-warranty> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant with 3000K color temperature selection.
- Title 24 Compliant: see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications/applications are qualified.
- IK08 rated luminaire per IEC 62682 mechanical impact code.
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent No. 10,816,165 B2)

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Slice Medium Outdoor LED Area Light

PERFORMANCE

Lumen Package	Distribution	CRI	3000 CCT		4000 CCT		5000 CCT		Wattage		
			Delivered Lumens	Efficiency	Delivered Lumens	Efficiency	Delivered Lumens	Efficiency			
9L	70	I	9511	109	82,000-02	9621	112	82,000-02	9071	102	82,000-02
			9498	102	82,000-02	9448	105	82,000-02	9398	102	82,000-02
			9500	104	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9501	107	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9502	109	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9503	111	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9504	113	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9505	115	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9506	117	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9507	119	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9508	121	82,000-02	9600	111	82,000-02	9450	106	82,000-02
			9509	123	82,000-02	9600	111	82,000-02	9450	106	82,000-02
12L	70	I	12721	139	82,000-02	12874	143	82,000-02	12974	147	82,000-02
			12695	142	82,000-02	12874	143	82,000-02	12974	147	82,000-02
			12703	145	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12711	148	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12719	151	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12727	154	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12735	157	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12743	160	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12751	163	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12759	166	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12767	169	82,000-02	12964	146	82,000-02	12964	146	82,000-02
			12775	172	82,000-02	12964	146	82,000-02	12964	146	82,000-02
15L	70	I	15881	181	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15855	184	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15863	187	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15871	190	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15879	193	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15887	196	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15895	199	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15903	202	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15911	205	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15919	208	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15927	211	82,000-02	15977	185	82,000-02	16077	189	82,000-02
			15935	214	82,000-02	15977	185	82,000-02	16077	189	82,000-02
18L	70	I	18701	191	82,000-02	18806	196	82,000-02	18906	197	82,000-02
			18675	194	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18683	197	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18691	200	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18699	203	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18707	206	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18715	209	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18723	212	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18731	215	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18739	218	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18747	221	82,000-02	18906	196	82,000-02	18906	197	82,000-02
			18755	224	82,000-02	18906	196	82,000-02	18906	197	82,000-02
21L	70	I	21861	191	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21835	194	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21843	197	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21851	200	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21859	203	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21867	206	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21875	209	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21883	212	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21891	215	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21899	218	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21907	221	82,000-02	21976	196	82,000-02	22076	197	82,000-02
			21915	224	82,000-02	21976	196	82,000-02	22076	197	82,000-02
24L	70	I	24781	191	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24755	194	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24763	197	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24771	200	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24779	203	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24787	206	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24795	209	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24803	212	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24811	215	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24819	218	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24827	221	82,000-02	24906	196	82,000-02	25006	197	82,000-02
			24835	224	82,000-02	24906	196	82,000-02	25006	197	82,000-02
27L	70	I	27901	191	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27875	194	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27883	197	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27891	200	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27899	203	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27907	206	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27915	209	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27923	212	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27931	215	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27939	218	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27947	221	82,000-02	28026	196	82,000-02	28126	197	82,000-02
			27955	224	82,000-02	28026	196	82,000-02	28126	197	82,000-02
30L	70	I	30821	191	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30795	194	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30803	197	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30811	200	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30819	203	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30827	206	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30835	209	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30843	212	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30851	215	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30859	218	82,000-02	30946	196	82,000-02	31046	197	82,000-02
			30867	221	82,000-02	30946	196	82,000-02	31046</		

